



# Village of Lincolnwood Plan Commission

*Meeting*  
**Wednesday, September 2, 2015**  
**7:00 P.M.**

*in the*  
**Council Chambers Room**  
**Lincolnwood Village Hall - 6900 North Lincoln Avenue**

## Agenda

1. **Call to Order/Roll Call**
2. **Pledge of Allegiance**
3. **Approval of Minutes**  
August 5, 2015 Minutes
4. **Case #PC-10-15: Public Hearing: 6733-6735 North Lincoln Avenue - Proposed Special Use and Variations for Mixed Use Development**  
**Request:** Consideration and review of a request by Rebeka Hoxha for Special Use to allow residential as well as certain Variations all to allow the construction of a new Mixed Use building and off-street parking at the subject property.
5. **Case #PC-11-15: Public Hearing: Proposed Text Amendment – Short-Term Rental Property**  
**Request:** Consideration and review of a Text Amendment to consider definitions and regulations for short-term rental properties.
6. **Next Meeting**
7. **Public Comment**
8. **Adjournment**



**DRAFT MEETING MINUTES  
OF THE  
PLAN COMMISSION  
AUGUST 5, 2015 – 7:00 P.M.**

**LINCOLNWOOD VILLAGE HALL  
COUNCIL CHAMBERS  
6900 NORTH LINCOLN AVENUE  
LINCOLNWOOD, ILLINOIS 60712**

**MEMBERS PRESENT:**

Chairman Paul Eisterhold  
Irving Fishman  
Patricia Goldfein  
Steven Jakubowski (arrived at 7:13 p.m.)  
Anthony Pauletto  
Don Sampen  
Mark Yohanna

**MEMBERS ABSENT:**

None

**STAFF PRESENT:**

Timothy E. Clarke, AICP, Community Development Director  
Aaron N. Cook, AICP, Community Development Manager  
Hart N. Passman, Village Attorney

**I. CALL TO ORDER**

Chairman Eisterhold noted a quorum of four members and called the meeting to order at 7:00 p.m.

**II. PLEDGE OF ALLEGIANCE**

**III. APPROVAL OF MINUTES**

**Motion to approve** the June 24, 2015 Workshop Meeting Minutes was made by Commissioner Fishman, and seconded by Commissioner Pauletto.

**Aye: Fishman, Pauletto, Goldfein, Sampen, Yohanna, and Eisterhold**

**Nay: None**

**Motion Approved: 6-0**

**IV. Case #PC-08-15: Public Hearing: 4495 West Pratt Avenue - Proposed Text Amendment and Special Use for Wireless Communications Facility**

Chairman Eisterhold swore in the Petitioner Mr. Ray Shinkle, President of In-Site RE, Inc., 1S660 Midwest Road, Suite 140, Oakbrook Terrace, Illinois 60181.

Mr. Cook presented the proposed Zoning Code Text Amendment language to allow wireless communication facilities within public utility rights of way as a Special Use. If the Plan Commission finds the text amendment to be consistent with the Zoning Code, then T-Mobile would request a Special Use to add antennas and ground equipment within the ComEd right of way south of Pratt Avenue. There are currently two approved co-locations near Touhy Avenue. The Zoning Code currently considers wireless facilities in a Business District as a Special Use. This location is south of Pratt Avenue (approximately 4495 Pratt Avenue) and is surrounded by residential uses, and the existing utility right of way is in the R-3 Residential District. The Zoning Code does not allow wireless communication facilities within Residential Districts. The requested amendment would allow for a co-location for a public utility within a Residential District only.

Chairman Eisterhold questioned why the language did not include “mounted on existing structures” as that would be preferable from a visual standpoint than erecting new poles. It is the goal of the Code is to use existing structures when possible, whether they are poles or buildings.

The dimensions of the antennas are approximately six feet in length and a foot-and-a-half wide. They are mounted to a platform located on top of the ComEd tower which is approximately 97 feet high. There was an antenna installed in 2008 in the ComEd right of way just north of Touhy which is not in a Residential District. The only wireless site that staff could recall is within a Residential District on the rooftop of the residential building at Cicero and Devon Avenues.

Mr. Shinkle was questioned as to the necessity of this antenna co-location. Mr. Shinkle replied that this tower is necessary to T-Mobile’s coverage requirements. Usage has grown tremendously and these sites are very important for their coverage. Co-locating on a utility tower is the only way to address their usage concerns without constructing new towers as well as minimizing the visual impact of these antennas.

There was discussion as to whether there are any revenue generating taxes or fees that can be imposed on these types of installations. Mr. Passman stated that this is not a tax generating use and state law restricts the ability of Villages to impose a tax of any kind, not just on telecommunications.

Staff was asked if the Code was originally written to restrict this type of installation. Staff replied that the current Code did not address existing utility poles regardless of what district they are in. The intent was to prohibit wireless sites in Residential Districts other than the R-4 District on a building five stories or greater. The byproduct of that is a prohibition of wireless sites within a public utility right of way.

For the record, Chairman Eisterhold noted that the Petitioner has supplied answers to both the Text Amendment and Special Use standards.

Chairman Eisterhold asked if anyone in the audience would like to address the Plan Commission regarding this matter. Mr. Stan Wilk, 4830 Chase Avenue, who is a member of the Telecommunications Commission, reiterated Mr. Passman’s remarks about the Village’s inability to collect a fee or tax on these installations. He believes this proposed language should be strongly considered.

**Motion to recommend** to the Village Board to approve the proposed Text Amendment to the Zoning Code and a Special Use to install an antenna on top of existing ComEd structures at 4495 Pratt Avenue was made by Commissioner Pauletto, and seconded by Commissioner Fishman.

**Aye: Pauletto, Fishman, Goldfein, Jakubowski, Sampen, Yohanna, and Eisterhold**

**Nay: None**

**Motion Approved: 7-0**

**V. Case #PC-09-15: Public Hearing: 6850 McCormick Boulevard – Planned Unit Development (PUD) Amendment**

Chairman Eisterhold swore in the following Petitioners for this Public Hearing: Bryan Rishforth, Managing Principal of R&R Global Partners; Kevin Wolfberg, Attorney with Schain Banks Kenny & Schwartz; James R. O'Malley, ALA, Managing Associate at OKW Architects; and Luay R. Aboona, PE, Principal at Kenig, Lindgren, O'Hara, Aboona, Inc.

This matter is a consideration of a Planned Unit Development (PUD) amendment for 6850 McCormick Boulevard, which is the former Dominick's site. Dominick's was granted preliminary PUD approval in 1999. Final PUD approval was granted in 2000. Dominick's closed in 2013. In 2003, the 6810 McCormick medical office building was approved and various amendments to the PUD pertained to signage for Dominick's and the medical office building.

The plat of survey and the two proposed site plans were presented for review. There are minor differences between the two site plans, both of which contain the same basic redevelopment proposal which is to divide the existing Dominick's building into three tenant spaces and to construct an outlot building within the existing off-street parking area by McCormick Boulevard and Northeast Parkway.

One of the primary differences between the two plans pertains to off-street parking. The parking summary report was presented for review. Site plan A has a total of 290 required spaces, and 279 spaces are provided. Site plan B has a total of 247 required spaces, and 251 spaces are provided. Staff provided a site plan comparison.

The proposed elevations were presented and are consistent with the architecture and design of the former Dominick's building which is a PUD provision. The overall landscape plan was presented for review as well.

Staff presented a list of items for consideration. They include the following: 1) List of proposed permitted uses with the PUD; 2) Operation of a 24-hour fitness center; 3) Delivery restriction to the hours of 7:00 a.m. and 10:00 p.m.; 4) Proposed signage (rear and south facing); 5) Traffic impact study; 6) Adequacy of parking supply for proposed uses; 7) Staff recommended sidewalk within PUD along Northeast Parkway; and 8) Staff recommended separation between proposed drive through and parking field.

Commissioner Fishman stated that there is no useful purpose for a sidewalk along Northeast Parkway and would create a safety hazard, especially for the new senior facility that is proposed adjacent to this site. Additionally, the installation of a sidewalk would affect the landscaping along the perimeter. He is strongly opposed to the installation of this sidewalk. Mr. Bryan Rishforth of R&R Global Partners agreed with Commissioner Fishman that the sidewalk would be a visual impairment as well as a costly endeavor. Commissioner Goldfein would like to see the developers get creative in how to make this area safer for pedestrians, otherwise the only alternative is for people to walk through the parking lot.

There was a lengthy discussion regarding the safest route for pedestrian access. One recommendation was to have a pedestrian crosswalk by the proposed senior facility across Northeast Parkway to access the sidewalk on the north side of the street. Pedestrians could then cross back south at McCormick Boulevard. Village Engineer Jim Amelio stated in his memorandum dated July 31, 2015 that it is important to extend the sidewalk from the west property line of the site to the main access drive for the commercial site and then tie it into the sidewalk extension that is already present from the front of the buildings. His revised plan review memorandum was presented to the Commissioners for their review. Historically, the Village has approved many developments without sidewalks, most notably the Lincolnwood Town Center. Staff

also noted that the Village is close to acquiring the land along the old Union Pacific Rail Line for a new bike trail and will essentially hook up to Northeast Parkway and will become a major access point between the new bike trail and the existing Centennial Park bike trail.

Staff outlined the recommended development conditions which include the following: 1) A security plan to be approved by the Police Chief; 2) no wall signs facing Pratt Avenue; 3) No wall signs on rear of main building (except for minor identification for deliveries); 4) One wall sign per tenant facing McCormick Boulevard; 5) Limited 24-hour operation in PUD to Planet Fitness; 6) Repair existing wood fence located along the property line; and 7) Required installation of Knox box(es) as directed by the Fire Department. Petitioners have agreed to all of these conditions. Additionally, the Petitioners have agreed to work with the new senior development west of the subject property with regards to pedestrian cross access which would benefit both properties.

The parking plan requirements were discussed at length relative to the different uses proposed. A list of permitted business uses and their effect on parking was reviewed and approved. Specific comments regarding the list of uses include: 1) auto sales are to be interior sales only; 2) dry cleaning uses with on-site plants would be non-perchloroethylene based; 3) no gaming facilities which are prohibited in the Village; 4) retail postal services would be package delivery and delivery sales, not a U.S. Postal Service facility; and 5) sporting goods facilities would be prohibited from selling firearms.

The Petitioner is seeking a Class 7B tax abatement from Cook County. In order to do that, consent will be needed from the Village Board. The Economic Development Commission has recommended that consent be granted based on the requirement that fifty percent of the space at this development be retail based for the twelve-year period of the tax abatement. The developer has agreed to this provision. The Village Board has essentially concurred with the EDC's recommendation. The formal consent will be finalized once the recommendation of the Plan Commission on the PUD is forwarded to the Village Board. The Village Attorney has recommended that a development agreement will be established covering the fifty percent requirement.

There was concern about traffic flow and safety issues with regards to the outlot building. Mr. Luay Aboona of KLOA referenced the traffic study that was performed. Mr. Aboona said that the former Dominick's store generated more traffic collectively than this whole development would generate, and their design would promote safe traffic circulation. The outlot was designed so there would be fire truck and equipment access to all four sides of the building.

Staff referenced the Village Engineer's review and recommended revisions to the traffic and parking study which has not yet been accepted. The Petitioners have reviewed these comments and are confident they will be able to satisfy these concerns. None of the issues will change the outcome of the study.

The issue of ten parking spaces in Lot 2 which NorthShore University Health System (NUH) has specific easements and rights to were discussed. These ten parking spots should not have been included in the total parking count. There is no cross access to these parking spaces; they are exclusive to NUH. Mr. Ted McKenna, Senior Manager of Colliers International Real Estate Management Services, who is the property manager for NUH, said there is a recorded easement which does specify the ten spaces to the south of the Dominick's building. These parking spots are not marked for NUH use only.

Mr. Richard Dubin of Dubin Singer, 123 North Wacker Drive, Chicago, Illinois was asked if there were other encumbrances on title that would be detrimental to the parking situation. Mr. Singer replied that the PUD and the declaration are the only two documents that affect parking and access. A copy of the declaration will be provided to the Commissioners.

Mr. Rishforth agreed that they would install a crosswalk across the service drive on Northeast Parkway to if this would move the project forward, even though, in their opinion, it would create a safety hazard. Mr. Clarke reiterated the Village Engineer's opinion that this sidewalk would not pose a public safety hazard.

Chairman Eisterhold asked if anyone in the audience would like to address the Plan Commission regarding this Public Hearing. Let the record show that no one came forward.

**Motion to recommend** approval of the PUD amendments subject to compliance with staff's recommendation in relation to the traffic impact study, staff conditions as approved by the Petitioner, installation of an outlot barricade, no requirement for a sidewalk per the Petitioner's agreement to install an appropriate crosswalk across the service driveway, approval of Site Plan A, and the modification to the business use list was made by Commissioner Sampen, and seconded by Commissioner Pauletto.

**Aye: Sampen, Pauletto, Fishman, Goldfein, Jakubowski, Yohanna, and Eisterhold**

**Nay: None**

**Motion Approved: 7-0**

#### **VI. NEXT MEETING**

Chairman Eisterhold announced that the next Plan Commission meeting will be held on Wednesday, September 2, 2015.

#### **VII. ADJOURNMENT**

Hearing no further business, **motion to adjourn** was made by Commissioner Fishman, and seconded by Commissioner Sampen. Meeting adjourned at 10:05 p.m.

**Aye: Fishman, Sampen, Goldfein, Jakubowski, Pauletto, Yohanna, and Eisterhold**

**Nay: None**

**Motion Approved: 7-0**

Respectfully Submitted,

Kathryn M. Kasprzyk  
Community Development Coordinator



# Plan Commission Staff Report

Case #PC-10-15

September 2, 2015

**Subject Property:**

6733-6735 North Lincoln Avenue

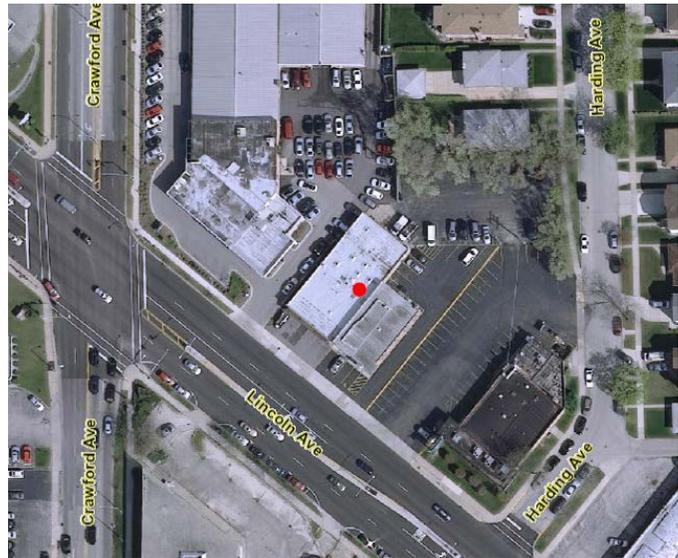
**Zoning District:**

B1 Tradition Business District and Mixed Use Hub

**Petitioner:**

Rebeka Hoxha, Property Owner

**Nature of Request:** Petitioner seeks to demolish the existing structure at 6733-6735 North Lincoln Avenue and construct a new mixed use structure and off-street parking area.



**Requested Action:**

**Special Use:** Permit Residential Units Above First Floor Commercial

**Variations:**

1. Variation Approval to permit the new mixed-use building to be set back greater than required five-foot build-to line
2. Variation Approval to permit a drive aisle functioning as a two-way drive aisle to be less than the minimum width
3. Variation Approval to permit less than the minimum required number of off-street parking spaces
4. Variation Approval to permit the location of off-street parking to the front of the proposed building
5. Variation Approval to permit less than the required eight-foot perimeter landscape for the parking area
6. Variation Approval to permit less than required interior landscape for the parking area, and
7. Variation Approval to permit a six-foot masonry wall as screening between zoning districts rather than the required eight-foot masonry wall

**Notification:** Notice in Lincolnwood Review dated August 13, 2015, Public Hearing Sign Installed at 6733-6735 North Lincoln Avenue, and Mailed Legal Notices Dated August 13, 2015 to Properties within 250 Feet.

**Summary of Request**

Rebeka Hoxha, Property Owner of 6733-6735 North Lincoln Avenue, seeks to demolish the existing building on the property and to construct a three-story commercial/residential building with a showroom on the first floor, an office and a residential unit on the second floor, and two residential units on the third floor. The residential units will be approximately 1,400- square feet. The subject property is within the B-1 Traditional Business District and the Mixed Use Hub Overlay District.

Currently, a one-story building with parking directly accessed from Lincoln Avenue is located at the property. The building includes two tenant spaces which are both currently unoccupied. The property includes overhead doors to the rear of the building which are accessed by a blacktop area across several pieces of property. At one time the area to the rear was accessed by a public alley. This alley was vacated on July 19, 1962.

The proposed three-story mixed use building would be accessed from Lincoln Avenue with parking to the front and rear of the proposed building. Two parking spaces are proposed to the front of the building and seven parking spaces are proposed to the rear. The proposed building would be constructed with a zero side yard setback which is permitted under the Zoning Code. The building also includes a “pass-through” driveway to provide access to the rear parking area. The petitioner has included a transition area to the rear including a six foot masonry screening wall.

The petitioner seeks the approvals necessary to permit the proposed redevelopment of the property at 6733-6735 North Lincoln Avenue. These approvals include 1) a Special Use Approval to Permit Residential Use, and 2) seven Variations.

The Village of Lincolnwood through Home Rule authority has created a process in which the Plan Commission considers zoning variations when requested along with Special Use requests. This is intended to streamline the hearing process for the benefit of the applicant.

**Special Use to Approve Residential Above First Floor Commercial**

This is the first Special Use request under the recently modified provision relative to residential along Lincoln Avenue. In the fall/winter of 2014 the Village considered the regulations for residential along Lincoln Avenue. In January 2015 the Village Board adopted an Ordinance requiring Special Use approval for all residential development along Lincoln Avenue.

The three residential units are proposed. One unit is proposed on the second floor (along with office space) and the two-bedroom unit is approximately 1,670 square feet. The third floor includes two residential units. The one-bedroom unit is approximately 1,190 square feet and the two-bedroom unit is approximately 1,670 square feet. The Zoning Code requires 1.5 off-street parking spaces for each residential unit above first floor commercial. The Zoning Code also states that for any fraction of a required parking space the required number of spaces is

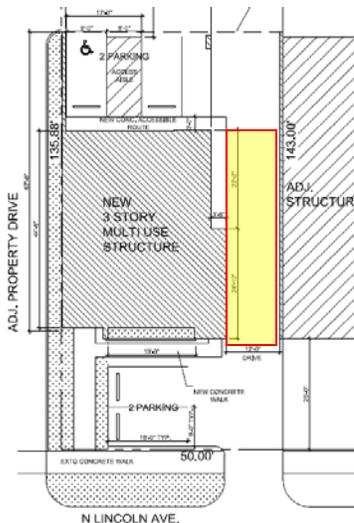
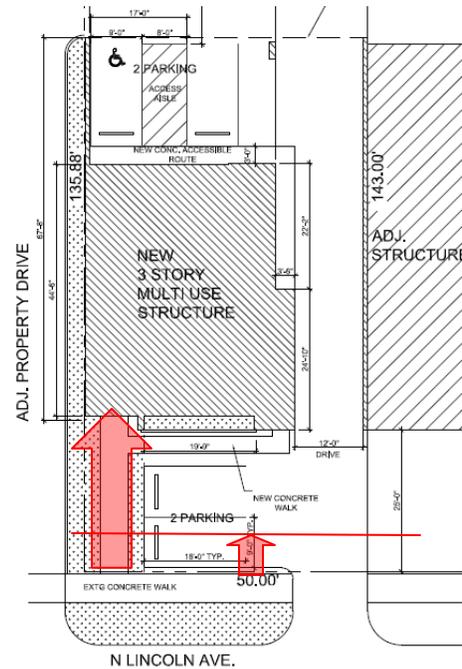
rounded up. Therefore, for the three units a total of 5 off-street spaces are required (1.5 x 3 = 4.5; Rounded up – 5 off-street spaces).

**Variations**

The petitioner also seeks certain variations needed in order to redevelop the property. The variations can be grouped into three basic categories 1) variations relative to landscape standards, 2) variations relative to the Mixed Use Hub Overlay District standards, and 3) off-street parking variations. Below is a summary of the requested variations.

**Required Five-Foot Build-To Line Variation:** The petitioner seeks approval to permit the construction of the new mixed use building beyond the required five-foot build to line as required by the Additional Standards for Mixed Use Section of the Zoning Code. The stated purpose of this build-to requirement is to locate buildings close to public sidewalks in an effort to create pedestrian friendly development. The proposed building is to be setback 25 feet.

Recent developments along Lincoln Avenue that have complied and incorporated these build-to standards include Meatheads, Oberweis, Walgreens, the proposed Brickyard Bank relocation (not constructed), and the residential condominiums at 6521-6535 Lincoln Avenue. This is the first request for relief from a build-to requirement along Lincoln Avenue.



**Drive Aisle Width Variation:** The petitioner seeks relief from the drive aisle width requirement of the Zoning Code in order to allow a “pass-through” drive aisle to connect the access from Lincoln Avenue to the rear parking area. This drive aisle located to the south of the property runs under the second and third floor of the proposed building. As there is no separate exit from the rear parking area, this drive aisle serves as a two-way drive. The proposed 12 foot width is less than the requirement drive aisle width for 90 degree parking of 24 feet.

This condition raises ingress/egress safety concerns as this “pass-through” can accommodate only one vehicle at a time. The layout of the proposed development creates some additional potential for conflict of vehicle movements on the property with parking spaces backing near this “pass-through”. Included within some of the development review team reports are comments relative to these concerns. If the Plan

Commission deems an adequate hardship is presented to authorize this variation staff does recommend requiring the Petitioner to provide improvements designed to minimum the safety concerns and vehicle conflicts.

Minimum Number of Off-Street Parking Spaces Variation

The Zoning Code requires minimum off-street parking spaces for uses within the Village. As proposed, the Mixed Use development includes a Furniture or Appliance Store Use, Office Use, and Dwellings Above First Floor Commercial. Below are the off-street parking requirements for each of these uses:

- Furniture or appliance store: 2.5 spaces per 1,000 square feet of gross floor area*
- Office, general or professional: 3 spaces per 1,000 square feet of gross floor area*
- Dwellings above first floor commercial: 1.5 spaces for each dwelling*

The off-street parking requirements for this project was initially calculated using the General Retail Use parking requirement (3.3/1,000 square feet) however, since the preparation of the Development Review Team report, staff has determined the first floor commercial use is subject to the Furniture or Appliance Store off-street parking standards (2.5/1,000 square feet).

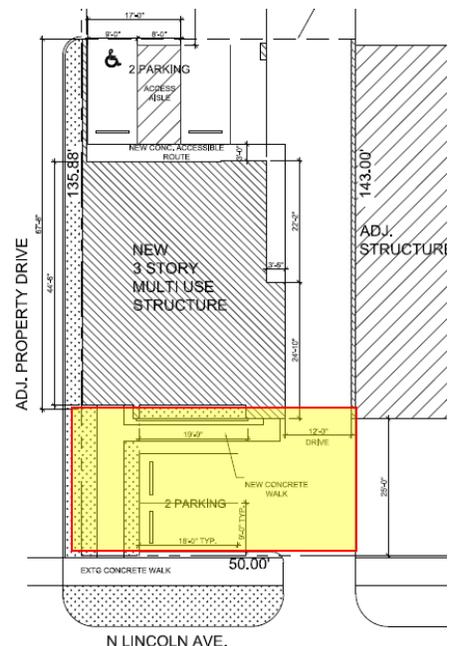
Based on the above, the project is required to have 12 off-street parking spaces (below are the requirements for each use).

- Furniture or appliance store: 3 spaces*
- Office, general or professional: 4 spaces*
- Dwellings above first floor commercial: 5 spaces*

The submitted site plan includes two parking spaces to the front of the building and seven parking spaces to the rear for a total of nine spaces. Therefore, the petitioner seeks a variation in order to permit the redevelopment of the property with less than the minimum required off-street parking.

Off-Street Parking Location Variation: The Zoning Code, Section 7.06(5), permits off-street parking in any yard except a front yard and a yard abutting a street. As proposed, there are two off-street parking spaces between Lincoln Avenue and the new Mixed Use building in the front yard. The site plan to the right includes a highlighted area where off-street parking is prohibited. The majority of the off-street parking will be provided to the rear of the building which complies with the Zoning Code.

Recently, the Zoning Board of Appeals recommended that a variation to permit parking to the front of a commercial building at 7370 Cicero Avenue be denied as they did not determine a hardship to be

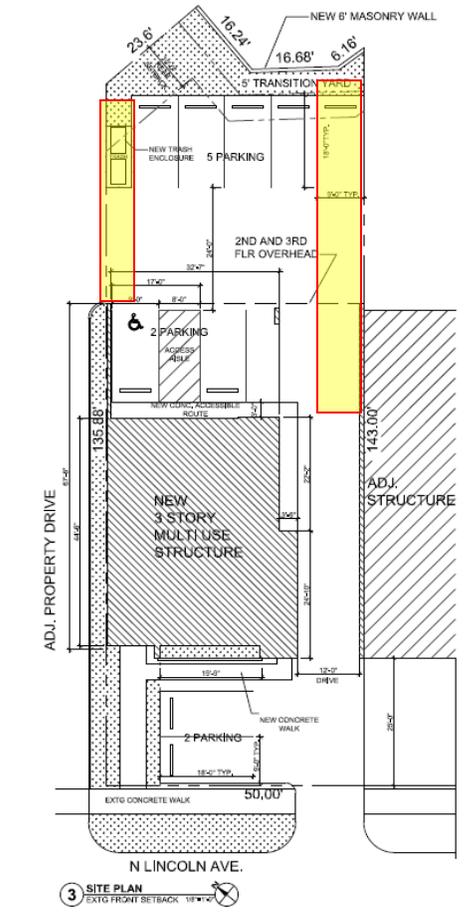


present. During their deliberations of this recommendation, the Village Board referred to the Plan Commission for public hearing, consideration of a possible Text Amendment relative to the current prohibition of front yard parking for non-residential properties. The public hearing for this consideration has not yet been scheduled.

Off-Street Parking Perimeter Landscape Variation: The Petitioner seeks approval to permit the perimeter landscape setback along the north and south lot line of the rear off-street parking area to not meet the minimum width of eight feet. The new off-street parking area does not include any perimeter landscape area.

The area highlighted to the left on the site plan identifies the location of the requested variation to permit less than the required eight-foot perimeter landscape area and screening. The proposed parking area does not include the Zoning Code required screening that is planted within the perimeter landscape area as per Section 6.14(1)b.

Two (handicap space + one space) of the seven total spaces are not subject to this regulation as they are located below the second and third floor of the proposed mixed use building.

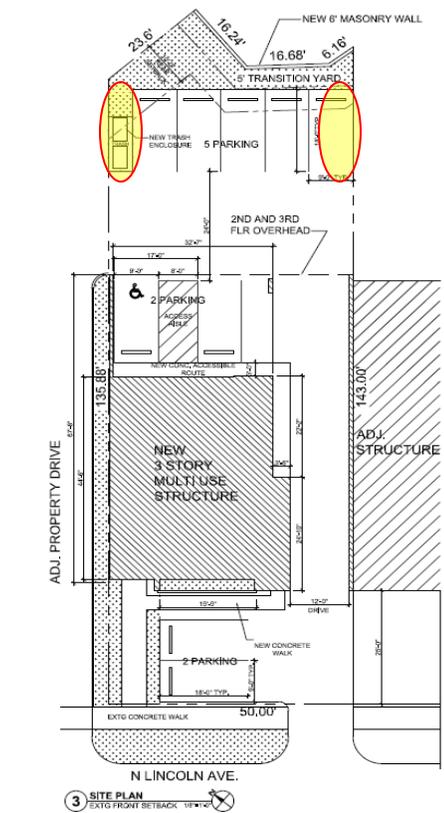


Off-Street Parking Interior Landscape Variation:

The Petitioner seeks relief from the minimum interior landscape requirements of the Zoning Code. The highlighted areas of the site plan to the right represent the locations of required landscape islands at the end of the row of parking.

The highlighted area at the north of the property is a landscape area in which is a proposed dumpster. At the south end of this parking row no landscape island is proposed.

Landscape islands are to be 9' x 20' and include one tree. The Petitioner seeks approval to include no



Zoning Code compliant landscape islands at the end of the parking row.

Minimum Landscape Screening Between Zoning Districts – Masonry Wall Height Variation

The Zoning Code requires minimum screening be provided the length of any property line located in the B1, B2, B3, O, or MB Zoning Districts when adjacent to property zoned residential. An excerpt of the Village’s Zoning Map is found below. The subject property has been outlined in red. Adjacent to the property to the northeast is property zoned R3 Residential. Therefore, a minimum ten-foot landscaped setback and screening area must be provided or an eight-foot high masonry wall within a five-foot landscape setback may be utilized as an alternative. The current use of the residentially zoned property as an off-street parking area does not eliminate this landscape screening requirement.

The Petitioner has opted to include the five-foot landscape setback and masonry wall however; the proposed wall is six-feet in height. In order to construct the six-foot masonry wall a variation is necessary.



**Conclusion**

Rebeka Hoxha, Petitioner and Property Owner, seeks certain approvals to construct a three-story mixed use building at 6733-6735 North Lincoln Avenue. In order to construct this new building and off-street parking area, the Petitioner seeks the following:

**Special Use:** Permit Residential Above First Floor Commercial

**Variations:**

1. Variation Approval to permit the new mixed-use building to be set back greater than required five-foot build-to line

2. Variation Approval to permit a drive aisle functioning as a two-way drive aisle to be less than the minimum width
3. Variation Approval to permit less than the minimum required number of off-street parking spaces
4. Variation Approval to permit the location of off-street parking to the front of the proposed building
5. Variation Approval to permit less than the required eight-foot perimeter landscape for the parking area
6. Variation Approval to permit less than required interior landscape for the parking area, and
7. Variation Approval to permit a six-foot masonry wall as screening between zoning districts rather than the required eight-foot masonry wall.

Staff convened the Development Review Team on August 19, 2015 and attached is the report from that review. Included in this document are review comments from each participating department representative. A summary of the review comments and recommendations are found on page 2 of the document. No inquiries from the public were received relative to this request.

### **Documents Attached**

1. Development Review Team Report – Review Date: August 19, 2015
2. Public Hearing Application Packet
  - a. Public Hearing Special Use and Variation Applications
  - b. Photograph of Subject Property
  - c. Plat of Survey
  - d. Proposed Plans
    - i. Preliminary Engineering Plan
    - ii. Site Plan
    - iii. Area Parking Distribution
    - iv. Basement and First Floor Plans
    - v. Second and Third Floor Plans
    - vi. Roof Plan
    - vii. Exterior Elevations
    - viii. Landscape Plans



**Summary Review**  
**Development Review Team**

**Proposed New Mixed Use Development**

6733-6735 North Lincoln Avenue

Review Date: August 19, 2015

**Nature of Request**

Proposal is to demolish the existing building on the property and to construct a three-story commercial/residential building with a showroom on the first floor, an office and a residential unit on the second floor, and two residential units on the third floor. The residential units will be approximately 1,400- square feet.

**Village Actions Required (based on zoning review)**

1. Special Use Approval to permit residential units above first floor commercial within the B-1 Traditional Business Mixed Use Hub
2. Variation Approval to permit the new mixed-use building to be set back greater than required five-foot build-to line
3. Variation Approval to permit a drive aisle functioning as a two-way drive aisle to be less than the minimum width
4. Variation Approval to permit less than the minimum required number of off-street parking spaces
5. Variation Approval to permit the location of off-street parking to the front of the proposed building
6. Variation to permit less than the required eight-foot perimeter landscape for the parking area
7. Variation to permit less than required interior landscape for the parking area, and
8. Variation to permit a six-foot masonry wall as screening between zoning districts rather than the required eight-foot masonry wall.

*A combined public hearing to consider Special Use and all variations requested has been scheduled before the Plan Commission at their September 2, 2015 regular meeting.*

- Demolition Permit from Cook County and Village
- Building Permit from Village

## Summary of Staff Review Comments

- Residential Use is a Special Use on the subject property (B1 Traditional Mixed Use Hub Zoning District)
- As proposed, the Village's minimum parking requirements for the proposed use are not met (15 spaces required and 9 parking spaces provided).
- The width of the "pass-through" drive aisle to the rear parking area is 12' in width which is less than the 24 foot minimum width required for two-way drive aisles.
- A six-inch continuous poured-in-place concrete curb must separate all drive and parking surfaces from landscape areas.
- The applicant is advised that the Village has building design standards which require masonry exteriors. From material presented, it appears that these standards are being met.
- Any work done within the Lincoln Avenue right-of-way must obtain an IDOT permit.
- This project will require a Watershed Management Ordinance (WMO) permit from Water Reclamation District of Greater Chicago (MWRDGC).
- On-site stormwater detention under Village Ordinance is required for this development.
- A curb is recommended to be installed behind the proposed building to separate the pavement area for the car dealership from the proposed development.
- All utilities must be buried underground.
- The proposed two inch water service may be inadequate to provide required fire flow. The domestic and fire service lines need to be split outside of the building.
- There appears to be inadequate height to bring a semi-tractor through to the rear of the building. The owner should clarify what size delivery vehicles will service the building.
- It appears access to and from certain off-street parking spaces may be difficult. Turning exhibits showing how passenger cars will maneuver from both the front and rear parking stalls.
- Replace the existing public sidewalk adjacent to the property, which is currently in poor condition. This sidewalk must be five feet wide.
- There is a concern with the success and long term viability of the rooftop planter areas shown at the perimeter of the building.
- Install stop and right turn only signs at the Lincoln Avenue exit.
- A sprinkler riser room/pump room must be provided with exterior access.

Attached are specific department comments on the proposed development

## **Additional Documents Required/Requested**

- A Photometric Lighting Plan for the property is required (see Village's Outdoor Lighting Standards section in Zoning Code for illumination levels and other restrictions)
- The Landscape Plan must detail either, 1) an irrigation system for the property; or, 2) maximum distance from landscape areas to water faucet of not more than 150 feet
- Provide detail on trash enclosure and confirm accessibility by garbage truck.
- Provide vehicle turning exhibits for the front and rear parking lots showing movements of passenger vehicles, delivery vehicles, and garbage trucks.
- Prior to building permit issuance, submit fire sprinkler and fire alarm plans for review and approval.
- Prior to occupancy, provide a security plan for approval by the Police Chief
- Prior to building permit issuance, submit engineering documents for review and approval.

## **Recommended Development Approval Conditions**

Below are staff's recommended development conditions

### **1) Security Plan**

Prior to issuance of Certificate of Occupancy, a Security Plan for the building and property shall be submitted & approved by the Police Chief

### **2) Knox Box installation**

Prior to occupancy, install a Fire Department Knox Box



## Community Development Department

# Development Review

### Project Information

<b>Petitioner or Project Name</b> Rebeka Hoxha/Sue Auerbach Architects
<b>Subject Property Address</b> 6733-35 North Lincoln Avenue
<b>List and Date of Plans Reviewed</b> Floor Plans/Elevation Plans dated August 3, 2015 Site Plan dated August 3, 2015 Land Survey dated February 27, 2013 Other documents dated July
<b>Nature of Proposal</b> Proposal is to demolish the existing building on the property and to construct a three-story commercial/residential building with a showroom on the first floor, an office and a residential unit on the second floor, and two residential units on the third floor. The residential units will be approximately 1,400- square feet.

### Review Information

<b>Name of Reviewer</b> Clarke/Cook
<b>Reviewer Contact Information:</b> TClarke@lwd.org/ACook@lwd.org
<b>Date of Plan Review:</b> August 19, 2015

### Action(s)/Approval(s) Required

- Approval of Special Use for residential use on the property
- Approval of Zoning Variations for:
  - Relief from required build-to line
  - Relief from prohibition on front yard parking
  - Relief from the minimum width requirement for two-way drive aisle
  - Relief from minimum off street parking space requirements

- Relief from perimeter landscape/screening requirements
- Relief from interior landscape requirements.

*\* A combined public hearing to consider Special Use and all variations requested has been scheduled before the Plan Commission for September 2, 2015.*

- Demolition Permit from Cook Count and Village of Lincolnwood.
- Building Permit from Village of Lincolnwood.

### **Applicable Regulations/Requirements**

- Village of Lincolnwood Zoning Code.

### **Additional Documents or Information Required/Requested**

- Full landscape plan for the project.
- Provide a Lighting and Photometric Plan for the property consistent with Code
- Provide detail on trash enclosure and confirm accessibility by garbage truck.

### **Plan Review Comments**

- A 6-inch concrete curb is required to separate all drive and parking surfaces from landscape areas.

### **Recommended Development Approval Conditions**

- None

# Zoning Review Worksheet

August 18, 2015

**Subject Property:** 6733 North  
Lincoln Avenue

B1 Mixed Use Hub

## ZONING CALCULATIONS

TOTAL LOT AREA: 7,244  
SQUARE FEET

BUILDING AREA: 8,027  
SQUARE FEET



	<u>MAX. PERMITTED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
<b>TOTAL LOT COVERAGE:</b>	NA	NA	NO
<b>MINIMUM LOT AREA:</b>	NA	7,244	NO
<b>FLOOR AREA RATIO:</b>	NA	NA	NO
<b>BUILDING HEIGHT:</b>	38 FT or 3 Stories whichever is less	34'6"	NO

Notes: None

## ZONING SETBACKS

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
<b>Front yard Build-To Line:</b>	5 Ft.	25 Ft.	YES
<b>Interior side yard setback:</b>	NA	0 Ft.	NO
<b>Interior side yard setback:</b>	NA	0 Ft.	NO
<b>Rear yard setback:</b>	10 Ft.	47 Ft.	NO

Notes: Build-to Line of 5 feet required. Proposed setback of 25 feet requires a variation.

## OFF-STREET PARKING REQUIREMENTS

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
<b>Location</b>	Rear and Side Yard Only	Located between Proposed Building and Street	YES
<b>Number of Spaces:</b>	15 spaces	9	Yes
<b>Number of Handicap Spaces:</b>	1	1	NO
<b>Size of Spaces:</b>	9' x 18'	9' x 18'	NO

<b>Driveway Dimension:</b>	24'	27'	NO
<b>Drive Aisle Dimension:</b>	24'	12' at pass - through	YES

**Notes:**

Dwellings above first floor commercial

1.5 spaces for each dwelling

General Retail/Commercial

3.3 spaces/1,000 SF

Pass-through within footprint of proposed building functions as a two-way drive aisle but does not meet the minimum width requirements.

**MINIMUM LANDSCAPE REQUIREMENTS****PERIMETER LOT SCREENING**

	<b><u>REQUIRED</u></b>	<b><u>PROPOSED</u></b>	<b><u>VARIATION REQUIRED</u></b>
<b>Setback width:</b>	8 feet (no overhang)	0 FT in Most Locations	YES
<b>Screening:</b>	continuous 3 feet	None Provided	YES
<b>Concrete curb separation:</b>	6 inch required	Unknown	Additional Information Needed

**Notes:** Perimeter landscape area and screening variations necessary. A 6-inch concrete curb is required to separate all drive and parking surfaces from landscape areas.

**INTERIOR LOT LANDSCAPING**

	<b><u>REQUIRED</u></b>	<b><u>PROPOSED</u></b>	<b><u>VARIATION REQUIRED</u></b>
<b>End Cap Islands Provided:</b>	ends of parking row	None Provided	YES
<b>Interior Islands Provided:</b>	every 20 Spaces	None Provided	NOT REQUIRED
<b>Size of Islands:</b>	9X20 feet	None Provided	YES
<b>Island Trees:</b>	1 per island	None Provided	YES
<b>Size of Island Trees:</b>	2 1/2 caliper	None Provided	YES
<b>Non-parking areas 50+ s.f.:</b>	pervious/vegetative	Shown	NO
<b>Island Topsoil Depth:</b>	3 feet depth		Verify on Final Landscape Plan

**Notes:** Interior planting island variations necessary.

**FOUNDATION PLANTING REQUIREMENTS**

	<b><u>REQUIRED</u></b>	<b><u>PROPOSED</u></b>	<b><u>VARIATION REQUIRED</u></b>
<b>Setback Width:</b>	6 feet front and sides of bldg.	None Provided	Most areas along foundation used for vehicle and pedestrian access.
<b>Concrete Curb:</b>	6 inch required	None Provided	Verify on Final Engineering Plan

**Notes:** None

**PARKWAY LANDSCAPING REQUIREMENTS**

	<b><u>REQUIRED</u></b>	<b><u>PROPOSED</u></b>	<b><u>VARIATION REQUIRED</u></b>
Parkway Plantings:	Sod or Vegetative Ground Cover	Shown	NO

Impervious Material In Parkway:	All impervious material prohibited	None Shown	NO
Structure/Obstructions In Parkway:	No structures or obstruction may be erected	None Shown	NO
Parkway Trees:	One parkway tree for each 25 lineal feet	None Shown	Verify on Final Landscape Plan
Public Sidewalks:	A 5-foot public sidewalk in B1, B2 & M Districts	Existing Shown	NO

**Notes:** None

### **OTHER**

- Residential units, above 1<sup>st</sup> floor commercial requires Special Use approval.
- Landscape and screening area shall be located along the length of any property line in the B1 District when adjacent to property zoned residential. Eight foot masonry wall within a five foot landscape setback may be utilized. Proposed masonry wall 6' in height. *Section 6.16(f)*
- Trash storage areas must be fully screened. Please identify screening of trash dumpsters. *Section 6.03(3)c*
- All utilities shall be buried underground. *Section 6.03(3)e*

### **SUMMARY OF REQUESTED APPROVALS**

1. Special Use to permit residential units above first floor commercial within the B-1 Traditional Business Mixed Use Hub.
2. Variation to permit the new mixed-use building to be set back greater than the required five-foot build-to line,
3. Variation to permit a drive aisle functioning as a two-way drive aisle to not meet the minimum width.
4. Variation to permit less than the minimum required number of off-street parking spaces,
5. Variation to permit off-street parking to the front of the proposed building,
6. Variation to permit less than the required eight-foot perimeter landscape area,
7. Variation to permit less than required interior landscape along the south lot line to permit less than the required interior landscape islands, and
8. Variation to permit a six-foot masonry wall as screening between zoning districts rather than an eight-foot masonry wall.

REVIEWED BY: Aaron N. Cook, AICP

DATE: August 18, 2015



## Landscaping Review

# Development Review

### Project Information

<b>Petitioner or Project Name</b>	3 Story Multi-use Structure
<b>Subject Property Address</b>	6733 Lincoln Avenue
<b>List and Date of Plans Reviewed</b>	Preliminary Engineering Plans prepared by Bono Consulting, Inc. 7-6-15 Auerbach Architects, Site Plan 8-3-15
<b>Nature of Proposal</b>	Review of proposed site plan.

### Review Information

<b>Name of Reviewer:</b>	Douglas Gotham, RLA
<b>Reviewer Contact Information:</b>	CBBEL, 847-823-0500 <a href="mailto:dgotham@cbbel.com">dgotham@cbbel.com</a>
<b>Date of Plan Review:</b>	8-13-15

### Action(s)/Approval(s) Required

- None

### Applicable Regulations/Requirements

- Village Code – Chapter 15, Article VI: Site Development Standards

### Additional Documents or Information Required/Requested

- Full Landscape Plan

## **Plan Review Comments**

- A schematic plan was provided with the review documents but an actual landscape plan was not submitted.
- A trash enclosure is indicated but no details to its height or appearance is given.
- No site lighting has been indicated at this time.
- An estimated cost for the landscaping was not provided.
- The current site plan with the indicated screen wall does **not** meet the requirement of a minimum of 5' width **perimeter** landscape buffer.
- No details or materials were provided for the Masonry Wall that screens the property from the adjoining residential. The proposed wall is indicated it to be 6' high whereas an 8' high wall is required.
- The preliminary site/landscape plan does not illustrate and separation curb from the drive aisles and parking surfaces.
- The current site plan does not meet the requirement for a six feet wide landscape setback along the front and sides.
- As a part of the landscape plan a perimeter roof top planter is shown. Over the years I have observed many attempts at installing woody plant material in above grade planters and the majority of them fail. Usually this is due to lack of water, lack of nutrients, poor drainage, and severity of the winter or poor plant material selection. It will be important that roof top planter have a support irrigation system, seasonal fertilization plan, adequate drainage for the soil and plant material selected to survive in a USDA plant hardiness zone higher than Lincolnwood.

## **Recommended Development Approval Conditions**

- A full landscape plan for the project needs to be submitted for review.



## Lincolnwood Engineering Department

# Development Review

### Project Information

<b>Petitioner or Project Name:</b> Elite Home Furnishings
<b>Subject Property Address:</b> 6733 Lincoln Avenue
<b>List and Date of Plans Reviewed:</b> <ul style="list-style-type: none"><li>• Preliminary Engineering Plans prepared by Bono Consulting, Inc. bearing a date of 7/6/2015</li><li>• Landscape Plan prepared by Auerbach Architects bearing a date of 8/3/2015</li><li>• Architectural Plans prepared by Auerbach Architects bearing a date of 8/3/2015</li><li>• Plat of Survey prepared by Jens K. Doe bearing a date of February 27, 2013</li></ul>
<b>Nature of Proposal:</b> Demolition of Existing Commercial Building and Construction of Mixed Use Building

### Review Information

<b>Name of Reviewer:</b> James Amelio, PE
<b>Reviewer Contact Information:</b> p:847.745.4862 <a href="mailto:jamelio@lwd.org">jamelio@lwd.org</a>
<b>Date of Plan Review:</b> August 12, 2015

### Action(s)/Approval(s) Required

- This project will require a Watershed Management Ordinance (WMO) permit from Metropolitan Water Reclamation District of Greater Chicago (MWRDGC) for qualified sewer construction.
- This project will require a permit from IDOT for all construction work within the Lincoln Avenue right-of-way.

## **Applicable Regulations/Requirements**

- Project is subject to WMO requirements
- Project is subject to IDOT requirements
- Project is subject to Village stormwater detention requirements

## **Additional Documents or Information Required/Requested**

- Provide a Lighting and Photometric Plan for the property consistent with Code
- Provide turning exhibits for the front and rear parking lots showing the movements of passenger vehicles, delivery vehicles, and garbage trucks with adjacent spaces occupied by passenger vehicles from residents, visitors, employees, and customers.

## **Plan Review Comments:**

- The final engineering submittal shall include separate plan sheets for demolition activities and proposed activities. The plans shall be at a standard engineering scale.
- The site is 7107 SF (0.163 Acres) in area. As such it does not have to provide detention or retention per the MWRDGC WMO, but is required to provide detention under the Village's stricter ordinance. Using the NIPC detention volume nomograph, this site would need to provide 3485 CF (0.08 Acre-feet) of detention storage. This can be provided in several ways and combinations: permeable pavement with underlying stone storage field, construction of underground detention in pipes or cisterns, or surface storage in the parking lot. An alternate could also involve varying some or all the detention requirement to replace it with a green roof. The developer is already providing for a social space on the roof with perimeter shrubs. Further green areas could be added to enhance the ambiance of the social area while providing a stormwater benefit.
- All curbing along Lincoln Avenue should be removed and replaced for the length of the site to define the entrance and re-establish the barrier curbing along the roadway.
- We recommend curbing all open sides of the rear yard landscape area to protect the plantings from errant vehicles from the adjoining properties. The curbing would eliminate the need to install parking bumpers for the rear stalls.
- A curbed landscape area is required along the common property line with the adjacent car dealership. At a minimum, a curb should be installed behind the proposed buildings to separate the pavement area for the car dealership from the proposed development.
- The final engineering plans shall indicate the abandonment of the existing sanitary and water service. As the existing water service is most likely connected along Lincoln Avenue, it would be advisable to have the new service connection as close as possible to the old one so that only one excavation in the roadway is necessary.
- If the building is to be sprinkled, the proposed two inch service may be inadequate to provide the required fire flow. If a fire suppression system is required, then the

domestic and fire service lines will need to be split outside of the building as per Village requirements.

- The engineer has incorrectly listed the discharge line from the proposed catch basin as a sanitary service line versus storm line. The pipe diameter should be 8 inches or larger given that this is a storm sewer.
- We will defer to the opinion of the Fire Department, but note that the basement does not have a secondary escape point. The use of the basement is noted to be “Commercial” and there is a bathroom on that level which may indicate that offices could be located there versus simply storage.
- We note that there is only a 10 foot vertical clearance for the drive thru the building to the rear parking area. There is no defined loading zone for the site, but the larger double doors are located at the rear of the building. There is inadequate height to bring a semi-tractor through the building. The owner should clarify what size delivery vehicles they intend to have service their building **and/or if they intend to unload their vehicles while parking on Lincoln Avenue.**
- A turning exhibit should be provided for the specified delivery vehicle to show it can enter and leave the site.
- Again noting the 10 foot vertical clearance, we will defer to the judgement Fire Department to determine if there is adequate access to the rear of the building through the adjacent properties.
- Given that the proposed development is not providing all of the required parking stalls for itself, the likelihood that the parking lot will be filled is high. Concurrently, we have concerns that several of the parking stalls will be hard to access or leave from without multiple point turns. The engineer should provide turning exhibits showing how passenger cars will enter and exit from both the front and rear parking stalls, both with and without adjacent stalls being occupied.
- Similar to the above, we have access concerns for both garbage trucks and delivery vehicles. Turning exhibits should be provided showing how a garbage truck would access the rear dumpsters and then exit the site while cars are occupying adjoining spaces. Turning exhibits should also be provided showing how delivery vehicles will enter, load/unload, and then exit the site while cars are occupying adjoining spaces.
- No width of the outside wall of the structure is called out on the plan sheet, but it scales to approximately 12 inches. We have not performed a structural review, but this appears to be narrow for an exterior bearing wall. The Village requires that the 12-foot wide travel width be maintained; even if the outer wall has to be thickened and the inner wall relocated.
- The tunnel through the building is only one lane wide and will support only one-way traffic. Some type of gate or signaling should be installed (motion activated) that will activate when a vehicle enters one end of the tunnel to prevent or notify a vehicle not to enter on the other end.
- No existing or proposed topographic elevations are shown on the submitted plans. The final engineering submittal shall include all existing and proposed site grading.

- The final engineering submittal shall include the locations of all proposed downspouts. Given the close proximity of the adjacent buildings, the discharge location of the downspouts should be fixed so that it minimizes risk to these buildings. One potential discharge location would be to run it to the rear yard landscape area and allow it to disperse there with a pop up emitter to water the proposed plantings.
- The final engineering submittal shall include all applicable pavement and utility standard details and specifications.

### **Recommended Development Approval Conditions**

- Possible variance for use of green roof in lieu of detention



## Public Works Department

# Development Review

### Project Information

<b>Petitioner or Project Name:</b> Rebeka Hoxha
<b>Subject Property Address:</b> 6733 Lincoln Avenue
<b>List and Date of Plans Reviewed:</b> <ul style="list-style-type: none"><li>• Plat of Survey Dated February 27, 2013</li><li>• Preliminary Engineering Plans Dated July 6, 2015</li></ul>
<b>Nature of Proposal:</b> <p>The petitioner is applying for a special use and variations to tear down an existing one-story commercial building and construct a three story mixed use building with commercial space on the ground floor and basement, split second floor consisting of commercial space and a residential unit, a third floor with two residential units and fourth floor rooftop deck.</p>

### Review Information

<b>Name of Reviewer:</b>	Andrew Letson, Assistant to the Public Works Director
<b>Reviewer Contact:</b>	Work: 847-745-4851 aletson@lwd.org
<b>Date of Plan Review:</b>	August 11, 2015

### Action(s)/Approval(s) Required

- Location and size of water and sewer connections must be approved.
- Species and locations of trees in the parkway must be approved.
- Location and size of sidewalk.

## **Applicable Regulations/Requirements**

- Section 12-2 (Water Main and Sewer Connections)
- Section 6-1-1 (Sidewalk Construction)
- Section 6-5 (Parkway Landscaping and Maintenance)

## **Additional Documents or Information Required/Requested**

- None

## **Plan Review Comments:**

- Tree plantings cannot conflict with the existing water meter vault. To determine the species and location of the new parkway trees, the petitioner should coordinate with the Village Arborist.
- Verify the correct sizing of the water and sewer service lines with the Building Department (during permit process).
- Replace the existing sidewalk adjacent to the property, which is currently in poor condition. All public sidewalks must have a minimum width of five feet.

## **Recommended Development Approval Conditions**

- Any work done within the right-of-way must also receive an IDOT permit as right-of-way on Lincoln Avenue is the responsibility of the Illinois Department of Transportation.



# LINCOLNWOOD POLICE DEPARTMENT

6900 N. Lincoln Avenue, Lincolnwood, IL 60712

(847) 673-2167

## Development Review

### Project Information

<b>Petitioner or Project Name:</b>	6733-35 North Lincoln Avenue Plan
<b>Subject Property Address:</b>	6733-35 North Lincoln Avenue
<b>List and Date of Plans Reviewed:</b>	August 14, 2015. Site Plan prepared in concert with Rebeka Hoxha and Architect Sue Auerbach
<b>Nature of Proposal:</b>	Review of the preliminary engineering plan for a three-story multi-use structure at 6733 North Lincoln Avenue

### Review Information

<b>Name of Reviewer:</b>	Lieutenant Randall Rathmell			
<b>Reviewer Contact Information:</b>	<b>Work:</b>	(847) 745-4751	<b>Cell:</b>	847 980-7894
	<b>Email</b>	rrathmell@lwd.org		
<b>Date of Plan Review:</b>	August 14, 2015			

### Action(s)/Approval(s) Required

- None

### Applicable Regulations/Requirements

- None

### Additional Documents or Information Required/Requested

- Photometric Lighting Plan
- Security Plan

### Plan Review Comments

- Submit a Security Plan for the property with approval by the Police Chief prior to issuance of the Certificate of Occupancy to include alarms, sensor lights, video surveillance cameras and intrusion detectors made visible to potential offenders and to assist in any criminal investigation

- A designated concrete sidewalk will be provided along Lincoln Avenue to facilitate the safe and efficient movement of pedestrians around the property
- Install a stop sign and right turn only at the Lincoln Ave. exit.

### **Recommended Development Approval Conditions**

- None



# LINCOLNWOOD FIRE DEPARTMENT

6900 N. LINCOLN AVENUE – LINCOLNWOOD, ILLINOIS - 60712

PHONE: 847-673-1545 FAX: 847-673-7456

## Development Review

### Project Information

Petitioner or Project Name: Three Story Multi Use Structure
Subject Property Address: 6733 N. Lincoln Avenue
List and Date of Plans Reviewed: Plat of Survey, Proposed Elevations, Floor Plans, and Landscape Plan – Reviewed 8-14-2015
Nature of Proposal: New construction of a multi-use (Residential – Commercial – Business) property.

### Review Information

Name of Reviewer: Battalion Chief Clyde Heineman
Reviewer Contact Information: Lincolnwood Fire Department – 847-673-1545 – cheineman@lwd.org
Date of Plan Review: 8-14-2015

### Action(s)/Approval(s) Required

- Fire sprinkler plans to be submitted, reviewed, and approved prior to construction of the system.
- Fire alarm plans to be submitted, reviewed, and approved prior to construction of the system.

### Applicable Regulations/Requirements

- All plans will be reviewed to the currently adopted versions of the NFPA code set including, *but not limited to* NFPA 1 Fire Code 2009 Edition, NFPA 13 Standard for the Installation of Sprinkler Systems 2010 Edition, NFPA 70 National Electrical Code® 2011 Edition, NFPA 72 National Fire Alarm and Signaling Code 2010 Edition, NFPA 80 Standard for Fire Doors and Other Opening Protectives 2010 Edition, NFPA 101®*Life Safety Code*® 2012 Edition, NFPA 110 Standard for Emergency and Standby Power Systems 2010 Edition, as well as the 2006 International Fire Code and local amendments.
- All applicable codes to be listed on plans

## **Additional Documents or Information Required/Requested**

Building Square Footage: Approximately 5800 Square Feet on 4 levels
Proposed Occupancy Type: Commercial – Residential - Business
Proposed Occupancy Load: To be determined based on individual occupancy sizes and uses.

- The calculation of all spaces for occupancy loads, exit requirements, and travel distances to be provided in accordance with 2012 *Life Safety Code* "Table 7.3.1.2 Occupant Load Factor".

## **Plan Review Comments**

- The location of the structure as proposed sits in place of an existing building. The rear of the building is inaccessible for ambulance access & fire suppression purposes.
- Water supply and hydrant locations for fire suppression as exists appear to be adequate.
- A NFPA 13 compliant sprinkler system shall be installed throughout the building. (NFPA 13R systems may be engineered for the residential areas.)
- A sprinkler riser room / pump room must be provided with exterior access.
- Fire Department Connection location to be within 100' of a fire hydrant. Fire Department Connection location to be determined in conjunction with the Fire Prevention Bureau, the sprinkler contractor and the plan reviewer prior to final design for the building.
- A complete fire alarm system compliant with NFPA 72® National Fire Alarm & Signaling Code shall be provided as required by NFPA 101® *Life Safety Code*® throughout the building.
- The fire alarm systems must be connected to the fire department dispatch center by way of the Village of Lincoln fire alarm radio network. The fire alarm contractor will be required to coordinate with the Village of Lincoln for installation of the radio by the Village's radio contractor at the completion of the alarm systems installations.

## **Recommended Conditions**

- The installation of a Knox Box® (Key Box) at the entrance(s) chosen by the fire department will be required (Commercial area and common areas only).
-



VILLAGE OF LINCOLNWOOD  
Community Development Department

Public Hearing Application  
Special Use and PUD

RECEIVED

SUBJECT PROPERTY

AUG - 3 2015

Property Address: 6733-35 N. Lincoln LINCOLNWOOD

Permanent Real Estate Index Number(s): 10-35-300-013-0000 COMMUNITY DEVELOPMENT

Zoning District: B-1 MIXED USE HUB Lot Area: 10-35-300-014-0000

List all existing structures on the property. Include fencing, sheds, garages, pools, etc.

One story Building

Are there existing development restrictions affecting the property?  Yes  No  
(Examples: previous Variations, conditions, easements, covenants) If yes, describe: \_\_\_\_\_

REQUESTED ACTION

- Special Use - Residential
- Special Use - Non-Residential
- Planned Unit Development (PUD)
- Other

PROJECT DESCRIPTION

Describe the Request and Project: THREE STORY MIXED USED BUILDING  
W/ COMMERCIAL ON FIRST FLOOR, OFFICE/RETAIL ON 2ND FL  
& RESIDENTIAL ON THIRD FLOOR.

PROPERTY OWNER/PETITIONER INFORMATION

Property Owner(s): (List all Beneficiaries if Trust)

Name: Rebeka Hoxha

Address: 3420 W. North Shore, Lincolnwood

Telephone: (847) 5168-1441 Fax: (847) 5168-1441 E-mail: edhoxha@hotmail.com

Petitioner: (if Different from Owner)

Name: \_\_\_\_\_ Relationship to Property: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: (\_\_\_\_) \_\_\_\_\_ Fax: (\_\_\_\_) \_\_\_\_\_ E-mail: \_\_\_\_\_

**REQUIRED ATTACHMENTS \***

Check all Documents that are Attached:

Plat of Survey	<u>✓</u>	Applicable Zoning Worksheet	<u>✓</u>
Site Plan	<u>✓</u>	*Photos of the Property	<u>✓</u>
Proof of Ownership	<u>✓</u>	PDF Files of all Drawings	<u>✓</u>
Floor Plans	<u>✓</u>	Elevations	<u>✓</u>

*\*The above documents are required for all applications. The Zoning Officer may release an applicant from specific required documents or may require additional documents as deemed necessary.*

**COST REIMBURSEMENT REQUIREMENT**

The Village requires reimbursement of certain out-of-pocket costs incurred by the Village in connection with applications for zoning approvals and relief. These costs include, but are not limited to, mailing costs, attorney and engineer costs, and other out-of-pocket costs incurred by the Village in connection with this application. In accordance with Section 5.02 of the Village of Lincolnwood Zoning Ordinance, both the petitioner and the property owner shall be jointly and severally liable for the payment of such out-of-pocket costs. Out-of-pocket costs incurred shall be first applied against any hearing deposit held by the Village, with any additional sums incurred to be billed at the conclusion of the hearing process.

Invoices in connection with this application shall be directed to:

Name: Rebeka Hoxha  
 Address: 3420 w. North Shore Ave  
 City, State, Zip: Lincolnwood, IL 60712

**ATTESTMENT AND SIGNATURE**

I hereby state that I have read and understand the Village cost reimbursement requirement, as well as the requirements and procedures outlined in Article V of the Village Zoning Ordinance, and I agree to reimburse the Village within 30 days after receipt of an invoice therefor. I further attest that all statements and information provided in this application are true and correct to the best of my knowledge and that I have vested in me the authority to execute this application.

**PROPERTY OWNER:**

Rebeka Hoxha  
 Signature  
Rebeka Hoxha  
 Print Name  
8/3/15  
 Date

**PETITIONER:** *(if Different than Property Owner)*

\_\_\_\_\_  
 Signature  
 \_\_\_\_\_  
 Print Name  
 \_\_\_\_\_  
 Date

## SPECIAL USE STANDARDS

To be approved, each Special Use request must meet certain specific standards. These standards are listed below. After each listed standard, explain how the Special Use request satisfies the listed standard. Use additional paper if necessary.

1. Please explain how the Special Use is necessary for the public convenience at this location and the subject property is deemed suitable for the use. (Please explain in detail)

6733N LINCOLN AVENUE HAS MULTIPLE LAYERS OF ZONING REQ'S THAT MAKE IT ESSENTIALLY AN UNUSABLE PROPERTY. THE BUILDING HAS NOT BEEN IN USE FOR OVER 6 MONTHS, WHICH MEANS REUSING THE EXIST. BUILDING WOULD REQUIRE A SPECIAL USE (NON CONFORMING). THE SITE IS ZONED B-1 AND IS LOCATED IN THE MIXED USE HUB OF THE LINCOLN AVE OVERLAY DIST. THIS ALLOWS A 3 STORY BLDG. W/ NON-RESIDENTIAL USES ON 1ST FL, & RESID. OR OFFICE USES ABOVE. IT STATES THAT COMMERCIAL USES ARE LIMITED TO 2800 SF ON FIRST FL. <sup>THERE IS</sup> A ZONING AMENDMENT THAT MAKES ALL RESIDENTIAL A SPECIAL USE ON LINCOLN AVE. THIS SPECIAL USE ALLOWS THE PROPERTY TO BE USED FOR COMMERCIAL, OFFICE AND RESIDENTIAL USE, IMPROVING THE SITE. &

2. Please explain how the Special Use is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected.

~~PROPOSED~~ PROPOSED PROJECT HAS A FRONT YARD SETBACK THAT IS IN LINE WITH THE 4 ADJACENT NEIGHBORS, PUTS THE PARKING PREDOMINANTLY IN THE REAR AND ADDS RESIDENTIAL UNITS, WHICH WILL INCREASE PEDESTRIAN TRAFFIC ON LINCOLN AVE.

3. Please explain how this Special Use would not cause substantial injury to the value of other property in the neighborhood in which it is located.

BY GRANTING THIS SPECIAL USE THERE WILL BE ONE LESS EMPTY PROPERTY ON LINCOLN AVE. THIS WILL BRING PEOPLE TO THE AREA.

SPECIAL USE STANDARDS (Continued)

4. The Special Use is consistent with the goals and policies of the Comprehensive Plan.

THE GOALS OF THE COMPREHENSIVE PLAN ARE TO INCREASE PEDESTRIAN USE OF LINCOLN AVE AND TO ENCOURAGE BUILDING DESIGNS THAT ARE SCALED TO THE PEDESTRIAN. THIS PROJECT HAS RETAIL USE DURING THE DAY, RESIDENTIAL USE AT ALL TIMES & IS SCALED FOR THE PEDESTRIAN.

5. The Special Use would not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the underlying Zoning District.

THERE IS NO REASON THAT THIS SPECIAL USE WOULD IMPEDE ANY DEVELOPMENT OF NEIGHBORING PROPERTIES

6. Please explain how the Special Use is so designed to provide adequate utilities, access roads, drainage, or necessary facilities.

SEE CIVIL ENGINEERING PLANS

7. Please explain how the Special Use is so designed to provide ingress and egress to minimize traffic congestion on public streets.

WE HAVE REDUCE THE CURB CUT ON LINCOLN AVENUE FROM 50 FT TO 12 FT.



**VILLAGE OF LINCOLNWOOD Public Hearing Application**  
**Community Development Department Variations**

**SUBJECT PROPERTY**

Property Address: 6733 -35 Lincoln Avenue

Permanent Real Estate Index Number(s): 10-35-300-013-0000 / 10-35-300-014-0000

Zoning District: B-1 Mixed Use Hub Lot Area: 7103

List all existing structures on the property. Include fencing, sheds, garages, pools, etc.  
One Story, 5030 SF, masonry building,

Are there existing development restrictions affecting the property?  Yes  No  
(Examples: previous Variations, conditions, easements, covenants) If yes, describe: \_\_\_\_\_

**REQUESTED ACTION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Variation - Residential        | <input type="checkbox"/> Variation - Signs/Special Signs |
| <input checked="" type="checkbox"/> Variation - Non-Residential    | <input type="checkbox"/> Minor Variation                 |
| <input checked="" type="checkbox"/> Variation - Off-Street Parking | <input checked="" type="checkbox"/> Other                |
| <input checked="" type="checkbox"/> Variation - Design Standards   |  |

**PROJECT DESCRIPTION**

Describe the Request and Project: 3 story, mixed use building with retail on the first floor, office/residential on the second floor and residential on the third floor.

**PROPERTY OWNER/PETITIONER INFORMATION**

**Property Owner(s):** *(List all Beneficiaries if Trust)*

Name: Rebeka Hoxha

Address: 3420 W. North Shore,

Telephone: (847 ) 568-1440 Fax: (847 ) 568-1441 E-mail: edhoxha@hotmail.com

**Petitioner:** *(if Different from Owner)*

Name: \_\_\_\_\_ Relationship to Property: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ E-mail: \_\_\_\_\_

**NOTICE OF REASONABLE ACCOMMODATION PROCESS**

An alternate process is provided by the Village for persons with disabilities or handicaps who seek a Reasonable Accommodation from the Zoning Code regulations in order to gain equal access to housing. If you seek a Reasonable Accommodation from the Zoning Code based on disability or handicap, do not complete this application form, but rather a separate application for Reasonable Accommodation. For more information on this process, consult Section 4.06(3) of the Zoning Code, or contact the Community Development Department at 847.673.7402.

## REQUIRED ATTACHMENTS \*

Check all Documents that are Attached:

Plat of Survey

Applicable Zoning Worksheet

Site Plan

Photos of the Property

Proof of Ownership

PDF Files of all Drawings

Floor Plans

Elevations

*\*The above documents are required for all applications. The Zoning Officer may release an applicant from specific required documents or may require additional documents as deemed necessary.*

## COST REIMBURSEMENT REQUIREMENT

The Village requires reimbursement of certain out-of-pocket costs incurred by the Village in connection with applications for zoning approvals and relief. These costs include, but are not limited to, mailing costs, attorney and engineer costs, and other out-of-pocket costs incurred by the Village in connection with this application. In accordance with Section 5.02 of the Village of Lincolnwood Zoning Ordinance, both the petitioner and the property owner shall be jointly and severally liable for the payment of such out-of-pocket costs. Out-of-pocket costs incurred shall be first applied against any hearing deposit held by the Village, with any additional sums incurred to be billed at the conclusion of the hearing process.

Invoices in connection with this application shall be directed to:

Name: Rebeka Hoxha  
Address: 3420 W. North Shore,  
City, State, Zip: Lincolnwood, IL 60712

## ATTESTMENT AND SIGNATURE

I hereby state that I have read and understand the Village cost reimbursement requirement, as well as the requirements and procedures outlined in Article V of the Village Zoning Ordinance, and I agree to reimburse the Village within 30 days after receipt of an invoice therefor. I also understand that if I desire a Reasonable Accommodation from the Zoning Code based on disability or handicap, that I must complete and submit a different application for consideration and by submitting this application for a Variation, I am attesting that I am not seeking a Reasonable Accommodation. I further attest that all statements and information provided in this application are true and correct to the best of my knowledge and that I have vested in me the authority to execute this application.

**PROPERTY OWNER:**

**PETITIONER:** *(if Different than Property Owner)*

Rebeka Hoxha

Digitally signed by Rebeka Hoxha  
DN: cn=Rebeka Hoxha, o.ou, email=rehoxha@hotmail.com, c=US  
Date: 2015.08.12 16:09:07 -0500

Signature

Signature

Rebeka Hoxha

Print Name

Print Name

8/11/2015

Date

Date

## VARIATION STANDARDS

*To be approved, each Variation request must meet certain specific standards. These standards are listed below. After each listed standard, explain how your Variation request satisfies the listed standard. Use additional paper if necessary.*

1. The requested Variation is consistent with the stated intent and purposes of the Zoning Ordinance and the Comprehensive Plan.

We do not meet the Perimeter Screening Requirement (6.14) for off-street parking. The site is 50 feet wide and to put in a landscaped perimeter of 5' would make parking in the rear of the site (also a zoning requirement) impossible. We have added foundation plantings and rooftop planters to meet the spirit of the code.

We have direct driveway access from Lincoln Avenue because we have no other access to the site.

2. The particular physical surroundings, shape or topographical conditions of the subject property would bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of this Zoning Ordinance is enforced.

Our site has no other access than Lincoln Avenue, which means that we need to minimize our drive and landscape screening area and maximize our parking. To park in the rear of the lot (Lincoln Avenue Req) and have landscape perimeter screening would make the lot unuseable.

3. The conditions upon which the petition for the Variation is based would not be applicable generally to other property within the same Zoning District.

This site has access only from Lincoln Avenue and is 50 feet wide. This is an uncommon situation in this district.

4. The Variation is not solely and exclusively for the purpose of enhancing the value of or increasing the revenue from the property.

The Variation is required to be able to build any building with parking on this site.

## VARIATION STANDARDS (Continued)

5. The alleged difficulty or hardship has not been created by any person presently having an interest in the property.

This is an existing condition. Years ago, there was an alley in the back of the lot, which gave access to parking and loading in the rear. That alley is now closed so this site has no access except from Lincoln Avenue

6. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

The adjacent properties are businesses with parking lots abutting our lot.

7. The Variation granted is the minimum change to the Zoning Ordinance standards necessary to alleviate the practical hardship on the subject property.

This lot is difficult to build on because of its size and situation. These variations are the minimum required to build any business with parking on the site.

8. The proposed Variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.

This has no affect on light, air or other public safety. It should increase property values in the area by replacing an abandoned eye sore building with a vibrant retail/residential structure.





Scale - 1 inch = 20 feet

# Jens K. Doe

Professional Land Surveyors, P.C.

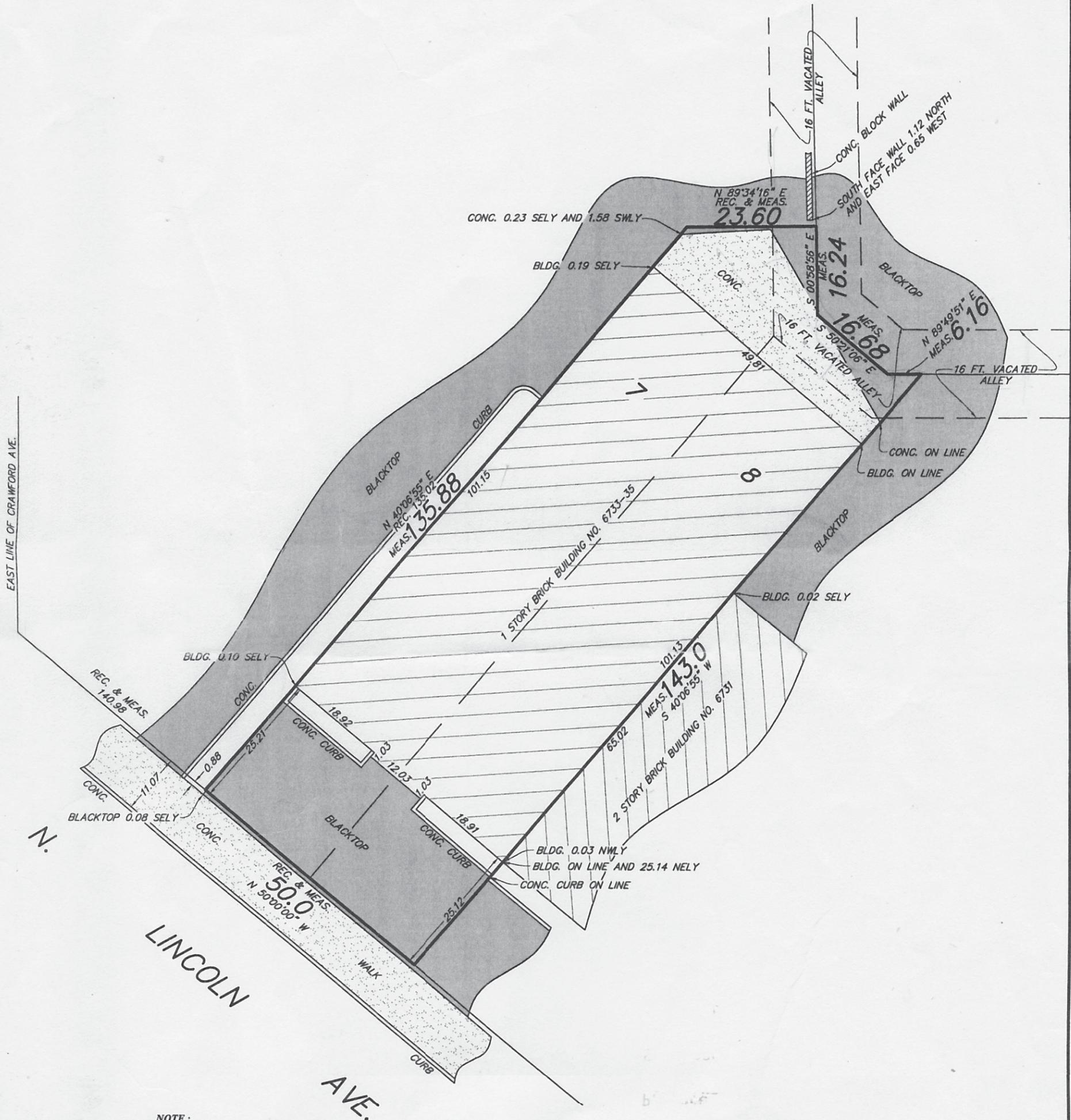
## PLAT OF SURVEY

of

ORDER NO.  
**13-0108**

LOTS 7 AND 8 TOGETHER WITH THE WEST 1/2, THE SOUTHWESTERLY 1/2 AND THE SOUTH 1/2 OF THE 16 FOOT VACATED ALLEY LYING EAST, NORTHEAST AND NORTH OF SAID LOTS 7 AND 8 IN BLOCK 1 IN LINCOLN AVENUE GARDENS ADDITION TO ROGERS PARK, IN THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 6733-35 N. LINCOLN AVE., LINCOLNWOOD, IL.



**NOTE:**

The legal description noted on this plat is a copy of the land survey order placed by the client and for accuracy **MUST** Be compared with the Deed. For building restrictions refer to your Abstract, Deed or Contract.

Compare distances between points before building and report any discrepancy to this office immediately.

Dimensions shown hereon are not to be assumed or scaled.

Dimensions shown hereon are in feet and decimal parts thereof.

Property corners have been established to complete the plat of survey shown hereon but have not been staked or flagged per the land survey order in which it was placed by the client.

Field work completion date : February 26, 2013.

ORDERED BY:

**JERRY MULICK**

State of Illinois )  
County of Cook )

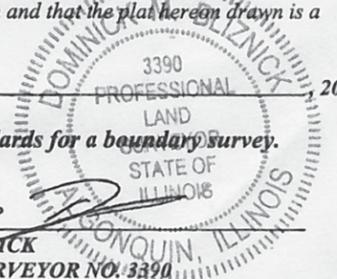
JENS K. DOE PROFESSIONAL LAND SURVEYORS, P.C., does hereby certify that a survey has been made under its direction, by an Illinois Professional Land Surveyor of the property described hereon and that the plat hereon drawn is a correct representation of said survey.

Chicago, Illinois, Dated this 27th Day of February 2013.

This professional service conforms to the current Illinois minimum standards for a boundary survey.

JENS K. DOE PROFESSIONAL  
LAND SURVEYORS, P.C.

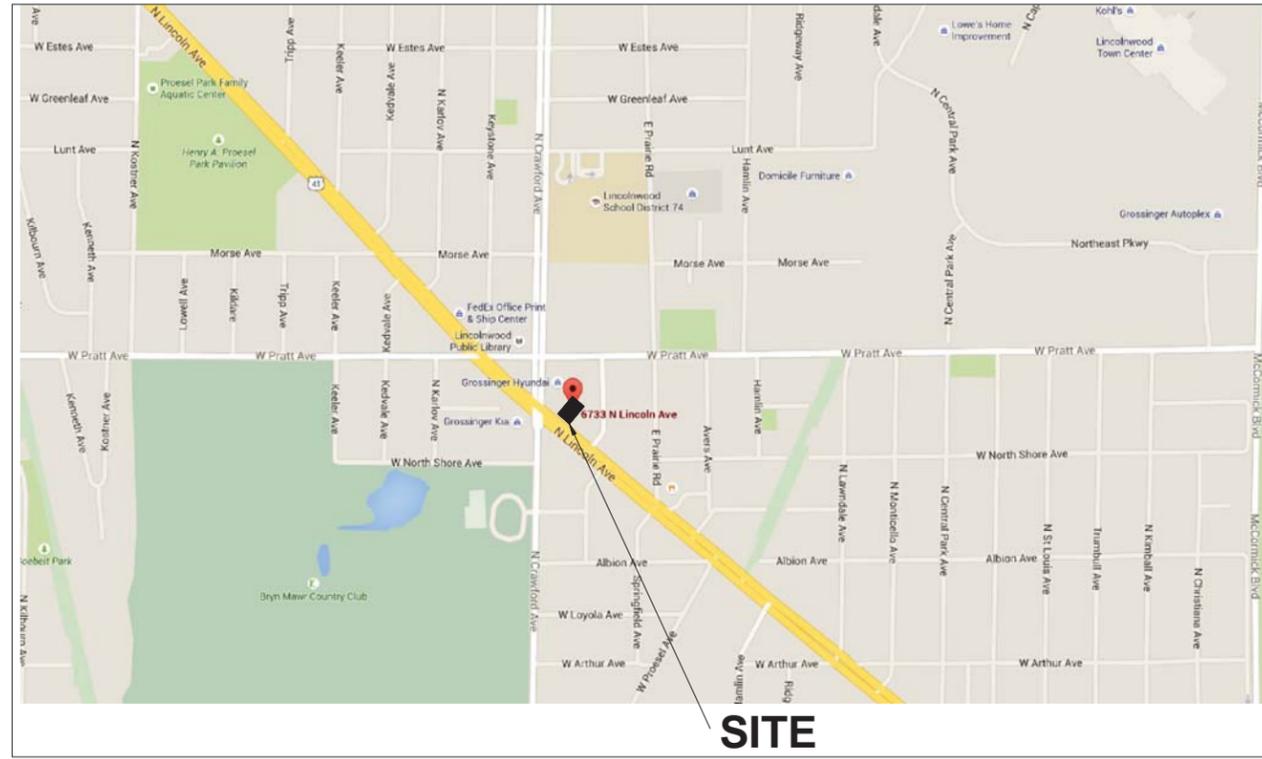
*[Signature]*  
DOMINICK M. BLIZNICK  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3390  
LICENSE EXPIRATION : 11 - 30 - 14



# PRELIMINARY ENGINEERING PLAN FOR 3 STORY MULTI USE STRUCTURE 6733 LINCOLN AVE. LINCOLNWOOD, COOK COUNTY, IL



SITE LOCATION MAP



6733 Lincoln Ave.				
Date: 07.06.2015				
	Existing		Proposed	
	Sq. Ft.	Acres	Sq. Ft.	Acres
<b>Entire Lot</b>	7,106.88	0.163		
<b>Buildings</b>	5,107.35	0.117	3,398.42	0.078
<b>Walks</b>	0.00	0.000	212.80	0.005
<b>Driveway &amp; Parking Lot</b>	1,944.28	0.045	2,793.30	0.064
<b>Impervious Area</b>	7,051.63	0.162	6,404.52	0.147
<b>Pervious Area</b>	55.25	0.001	702.36	0.016
<b>Decrease in Impervious Area</b>	647.110 SF			

DRAWING INDEX:

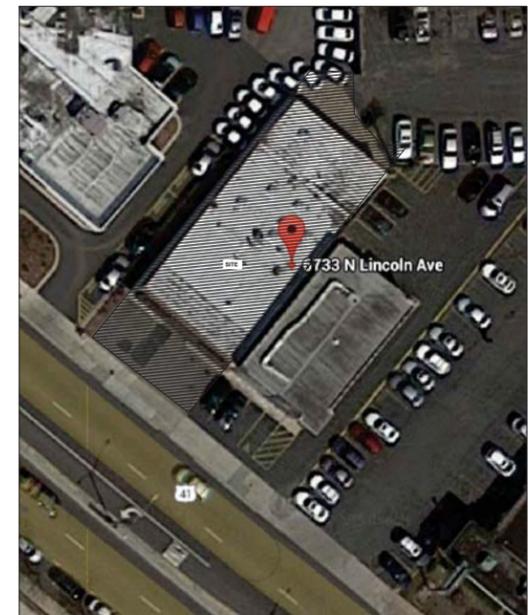
1. TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
2. EXISTING TOPOGRAPHY & DEMOLITION PLAN
3. PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN

**BCI**  
BONO CONSULTING, INC.  
CIVIL ENGINEERS  
1018 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: (847) 823-3000  
FAX: (847) 823-3003  
bbono@bonoconsulting.com

BERNARD A. BONO  
062-044068  
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS  
EXP. 11/30/15  
02-06-2015

*Bono*

AERIAL MAP



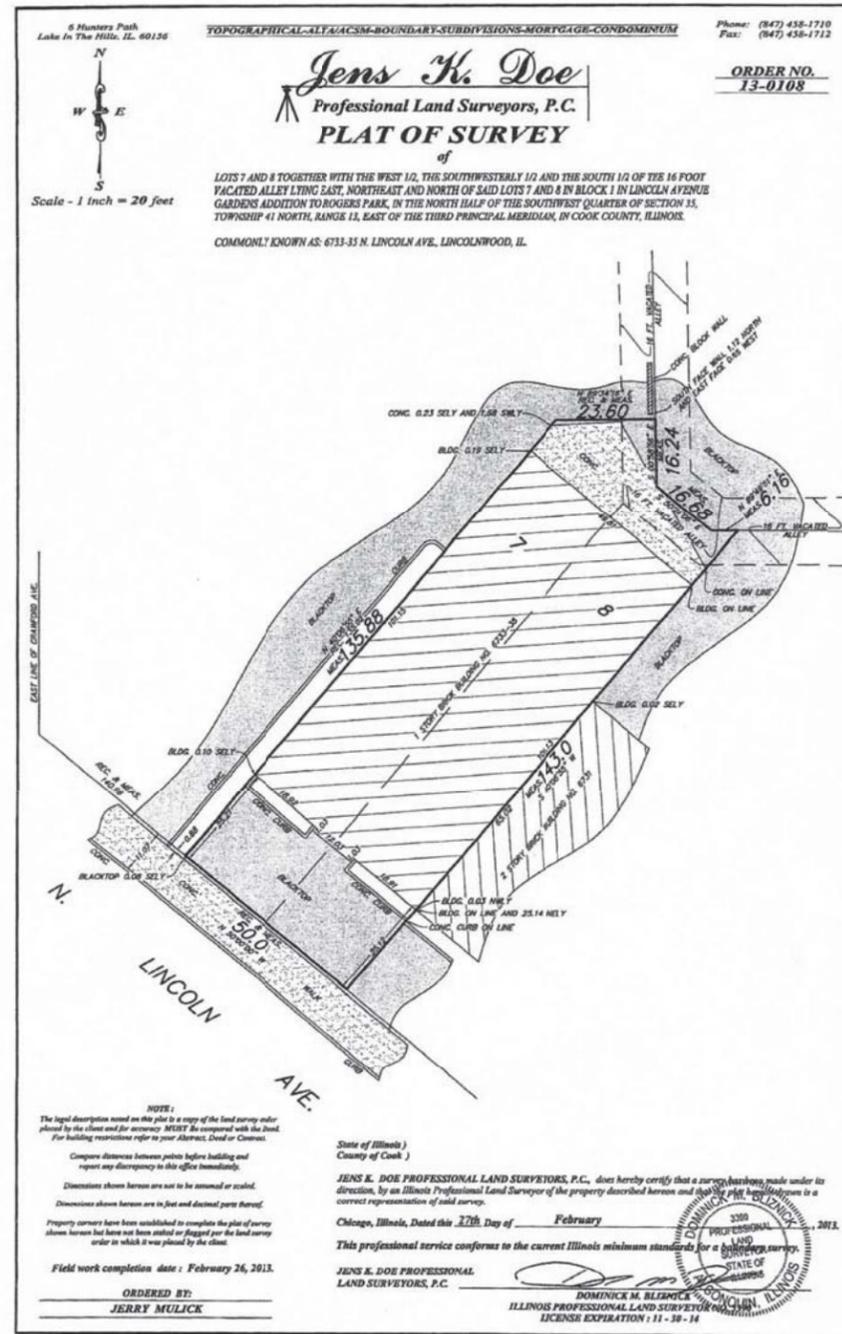
	EXISTING	PROPOSED
Property Line	---	---
Sanitary Sewer Line	->->	->->
Water Line	-v-v-	-v-v-
Storm Sewer Line	->->	->->
Storm Manhole	○	●
Sanitary Manhole	⊙	⊙
Combined Sewer	->->	->->
Combined Manhole	⊙	⊙
Catch Basin	○	○
Inlet	○	○
Water Valve Vault	○	○
Water Valve	○	○
Grade	---	---
Drainage Divide	---	---
Curb & Gutter	---	---
Cleanout	○	○
Downspout (Roof Drains)	○	○
Water B. Box	○	○
Tree Protection Fence	---	---
Construction Fence	---	---
Inlet Filter Basket	○	○
Traffic Direction Pavement Marking	---	---
Fire Hydrant	○	○
Top of Curb	---	---
Bottom of Curb	---	---
Top of Curb	---	---
Bottom of Gutter	---	---
Walk	---	---
Bottom of Walk	---	---
Depressed Curb	---	---
Bottom of Gutter	---	---
Mountable Curb	---	---
Bottom of Gutter	---	---

TITLE SHEET, LEGEND, SITE LOCATION MAP, & AERIAL MAP  
3 STORY MULTI USE BUILDING  
6733 LINCOLN AVE., LINCOLNWOOD, ILLINOIS



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PROJECT NUMBER: 15215  
START DATE: JULY 6, 2015  
GRAPHIC SCALE  
SCALE: NTS  
SHEET NUMBER  
1 OF 3



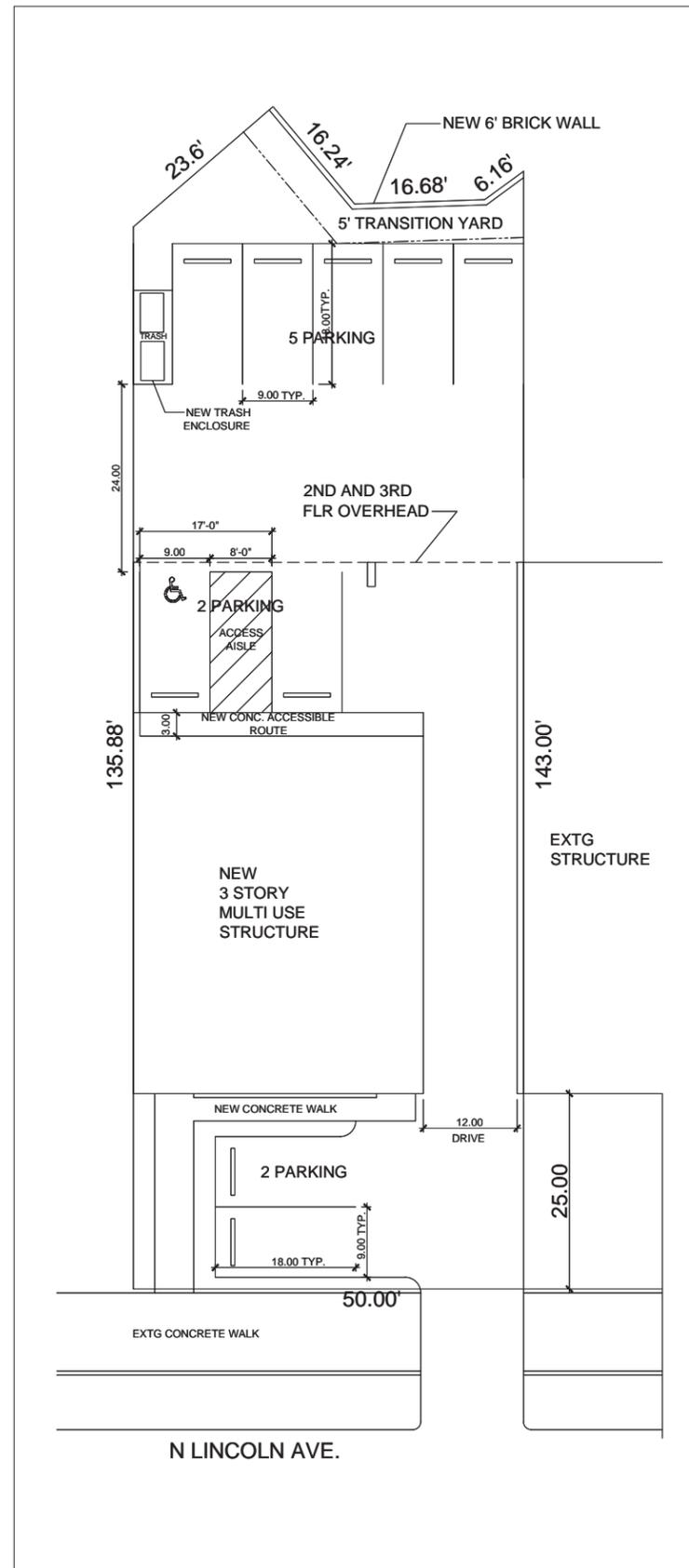
PROJECT STAFF		ISSUE		REVISIONS		DATE
PROJECT MANAGER:	B. BONDY P.E.	1	PRELIMINARY PLAN			07/26/2015
ENGINEER:	A. VEEN					
TECHNICIAN:						

**BCI**  
BONO CONSULTING, INC.  
CIVIL ENGINEERS  
1018 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: (847) 823-3300  
FAX: (847) 823-3303  
tbono@bonoconsulting.com

**GIS TOPOGRAPHIC MAP, EROSION CONTROL, DEMOLITION PLAN**  
3 STORY MULTI USE BUILDING  
6733 LINCOLN AVE., LINCOLNWOOD, ILLINOIS

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PROJECT NUMBER: 15215  
START DATE: JULY 6, 2015  
GRAPHIC SCALE: 1"=20'-0"  
SCALE: 1"=20'-0"  
SHEET NUMBER: 2 OF 3

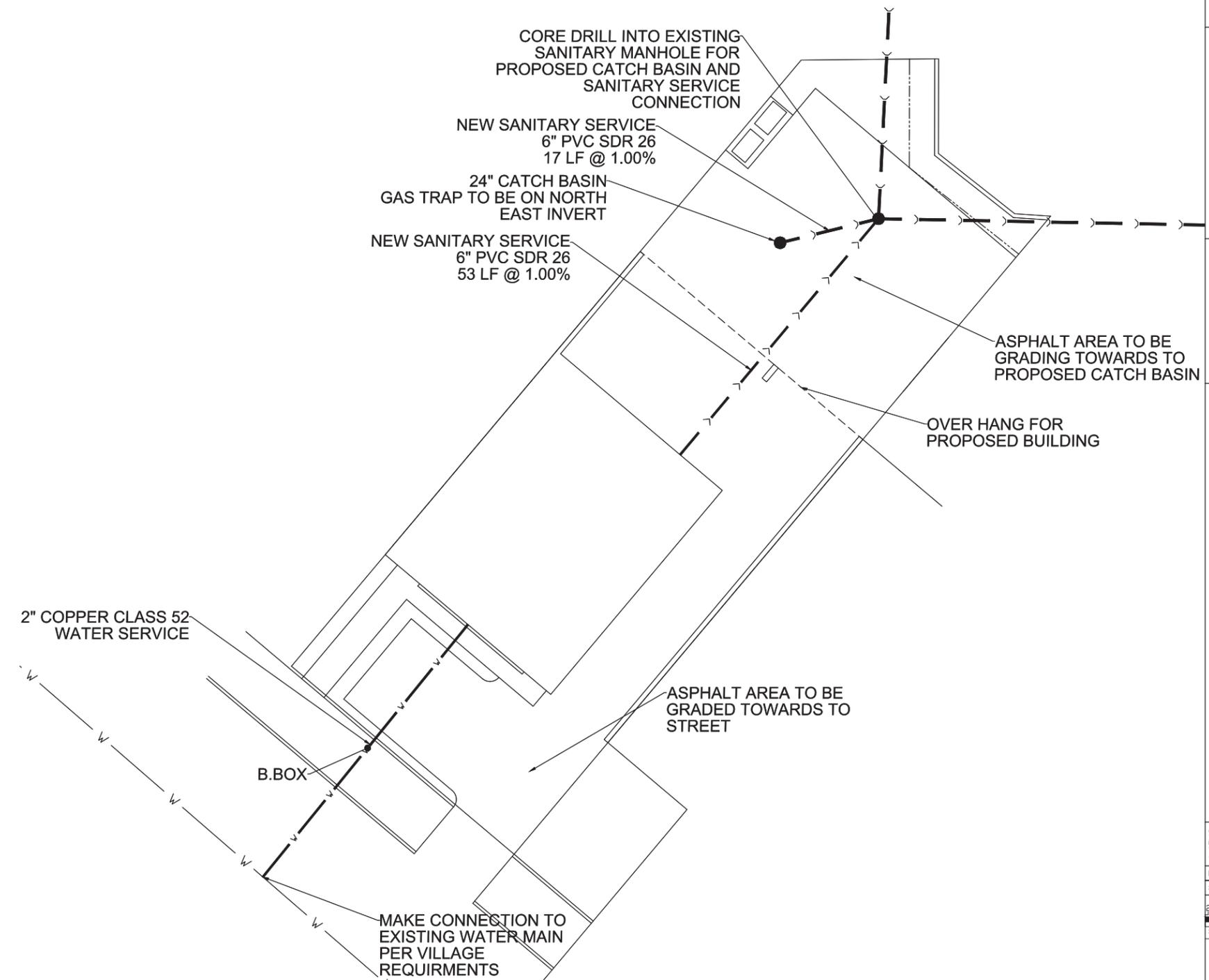


**GEOMETRIC PLAN**

6733 Lincoln Ave.

ate: 07.06.2015

	Existing		Proposed	
	Sq. Ft.	Acres	Sq. Ft.	Acres
Entire Lot	7,106.88	0.163		
Buildings	5,107.35	0.117	3,398.42	0.078
Walks	0.00	0.000	212.80	0.005
Driveway & Parking Lot	1,944.28	0.045	2,793.30	0.064
<b>Impervious Area</b>	<b>7,051.63</b>	<b>0.162</b>	<b>6,404.52</b>	<b>0.147</b>
<b>Pervious Area</b>	<b>55.25</b>	<b>0.001</b>	<b>702.36</b>	<b>0.016</b>
<b>Decrease in Impervious Area</b>	<b>647,110 SF</b>			



DATE	REVISIONS
07/06/2015	PRELIMINARY PLAN

PROJECT STAFF	ISSUE
PROJECT MANAGER: B. BONO P.E.	1
ENGINEER: A. VEEN	
DRAWN BY: [blank]	
TECHNICIAN: [blank]	

**BCI**  
**BONO CONSULTING, INC.**  
 CIVIL ENGINEERS  
 1018 BUSSE HIGHWAY PH: (847) 823-3300  
 PARK RIDGE, IL 60068 FAX: (847) 823-3303  
 bbono@bonoconsulting.com

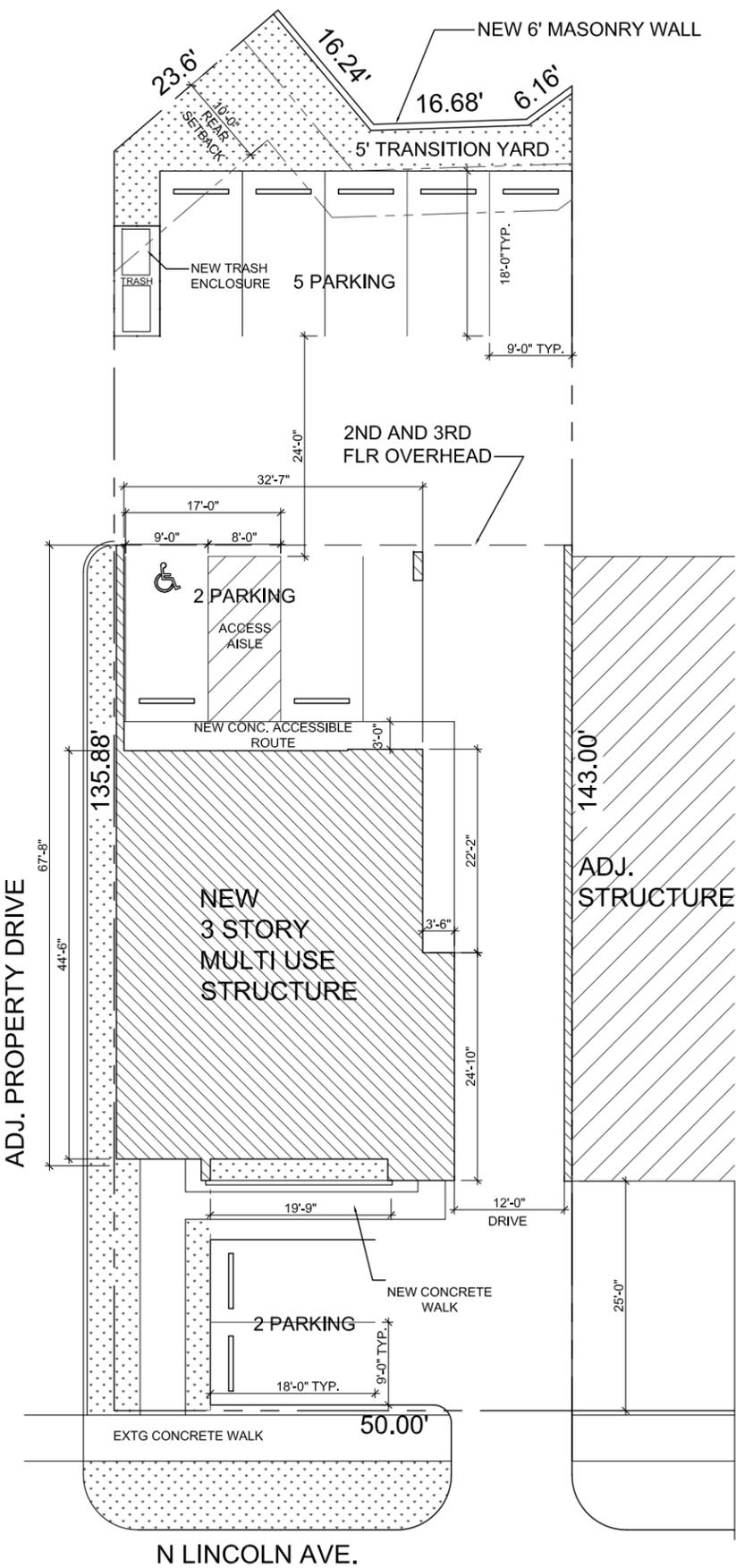
**PROPOSED, GEOMETRIC, GRADING,  
 DRAINAGE & UTILITY PLAN**  
 3 STORY MULTI USE BUILDING  
 6733 LINCOLN AVE., LINCOLNWOOD, ILLINOIS

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PROJECT NUMBER: 15215  
 START DATE: JULY 6, 2015

GRAPHIC SCALE  
 20 0 20  
 SCALE: 1"=20'-0"

SHEET NUMBER  
**3** OF **3**



**3 SITE PLAN**  
 EXTG FRONT SETBACK 1/8"=1'-0"

ABBREVIATIONS				REFERENCE SYMBOLS			SHEET INDEX				
CL	CENTER LINE	DIA	DIAMETER	HM	HOLLOW METAL	INC	NOT IN CONTRACT	ROOM	ROOM NAME ROOM NUMBER	DEMOLITION	A1 COVER: SITE PLAN, SYMBOLS, CODE ANALYSIS, & EXTERIOR VIEWS
ADJ	ADJUSTABLE	DM	DIMENSION	HWAC	HEATING VENTING AIR CONDITIONING	NTS	NOT TO SCALE				
AF	ABOVE FINISHED FLOOR	DN	DOWN	HW	HOT WATER	OC	ON CENTER	123D	DOOR NUMBER	GYP. BD.	A2 BASEMENT & 1ST FLOOR PLANS
ALT	ALTERNATE	DR	DOOR	HWH	HOT WATER HEATER	PD	PAINTED	123	WINDOW TYPE	EQUIPMENT	A3 2ND AND 3RD FLOOR PLANS
APPROX	APPROXIMATE	DS	DOWN SPOUT	HTR	HEATER	PLAM	PLASTIC LAMINATE	123	WALL TYPE	REVISION MARKER	A4 ROOF PLAN
APPR	APPROVED	DW	DISH-WASHER	INCL	INCLUDING	PLYWD	PLYWOOD	123	EXTERIOR ELEVATION	ALIGN SURFACES	A5 EXTERIOR ELEVATIONS
ARCH	ARCHITECTURAL	DWG	DRAWING	INCL	INCLUDING	R	RISER	123	INTERIOR ELEVATION	KEYNOTE	A6 EXTERIOR ELEVATION L1 LANDSCAPING PLANS
AVG	AVERAGE	DWR	DRAWER	INFD	INFORMATION	RA	RETURN AIR	123	SECTION MARKER		
BD	BOARD	EX	EXISTING	INSUL	INSULATION	REF	REFERENCE	123	ELEVATION MARKER		
BATT INSUL	BATTEN INSULATION	EA	EACH	INT	INTERIOR	RF	REFRIGERATOR/FREEZER				
BLDG	BUILDING	E	ELEVATION	J	JUNCTION BOX	RM	ROOM				
BLKG	BLOCKING	ELEC	ELECTRICAL	JF	JOINT	RO	ROUGH OPENING				
BOT	BOTTOM	EQ	EQUAL	LAM	LAMINATE	SA	SUPPLY AIR				
BO	BY OTHERS	EXT	EXTERIOR	LAV	LAVATORY	SAM	SIMILAR				
CLG	CEILING	FD	FLOOR DRAIN	LAV	LAVATORY	STD	STANDARD				
CL	CLOSET	F	FLOOR	MC	MEDICINE CABINET	STL	STEEL				
CO	CASED OPENING	GD	GARBAGE DISPOSAL	MDF	MEDIUM DENSITY FIBERBOARD	SUSP	SUSPENDED UNLESS OTHERWISE NOTED				
COL	COLUMN	GEN	GENERAL	MECH	MECHANICAL	UCN	UNLESS OTHERWISE NOTED				
CONC	CONCRETE	GL	GLASS	MFR	MANUFACTURER	VP	VERIFY IN FIELD				
CPT	CARPET	GA	GAUGE	MFR	MANUFACTURER	W	WOOD				
CT	CERAMIC TILE	GFB	GYPHUM WALLBOARD	MIS	MISCELLANEOUS	WN	WINDOW				
CJ	CONTROL JOINT	GC	GENERAL CONTRACTOR	MISC	MISCELLANEOUS	WPT	WORK POINT				
DEMO	DEMOLISH (DEMOLITION)	HOC	HANDICAPPED	MTD	MOUNTED						



**2 EXTERIOR VIEW FROM REAR** NTS



**1 EXTERIOR VIEW FROM STREET** NTS

Zoning Analysis 6733-35 N. Lincoln Ave.			
Description	Code	Proposed	Remarks
<b>Project Description</b>			
Address: 6733-35 N. Lincoln Ave.			
Applicable Codes:			
Lincolnwood Zoning Code			
International Building Code 2009			
International Residential Building Code 2009			
National Electric Code 2011			
Illinois State Plumbing Code			
International Fire Code 2009			
International Mechanical Code 2009			
International Energy Conservation Code 2012			
<b>Zoning</b>			
Designation	B1		Mixed Use Hub
Lot Size	NA	7,103 sqft	Actual or 3 stories
Max. building height	38 FT	38 FT	
Minimum SF per DU			
1 Bedroom/Studio	800 SF	1,191 SF	
2 Bedroom	1,500 SF	1,669 SF	
3 Bedroom	2,000 SF		
Max. Build to Line	5 FT	25 FT	
Driveways and Access			Residential Buildings shall not have garages or driveways with direct vehicular access to Lincoln Avenue
Min. Interior side setback	NA		
Minimum Rear Setback	10 FT		
Use Configuration			Ground floor limited to retail and other nonresidential uses that encourage pedestrian activity and shopping. Limited to residential, retail or office uses
Restricted Uses - Non Residential Uses	2,500 SF max	1,191	Limited to ground floor
Commercial Uses			Other uses which are found by the Plan Commission to be similar to permitted and special uses in the B-1 District.
Transitional Yard	30 FT		Buildings setback buffer. All structures adjacent to residential districts on the B-1, B-2, or B-3 zoned lot must be set back a distance that is equal to or greater than the side or rear yard setback requirement for the adjacent R-zoned lot, but not less than 10 feet
Landscape Buffer			A landscape buffer must also be provided. This buffer shall extend the length of the lot line or segment of the lot line that abuts the residential district, and shall be at least eight feet wide or where screening consists of a masonry wall, a minimum width of five feet.
Landscape Buffer			The landscape buffer shall not be used for the purposes of parking, loading, servicing, or storage.
Screening			Required screening shall be a minimum height of six feet at time of installation and may be comprised of berms, masonry walls, a double row of densely planted landscaping, or a combination thereof
Site Plan Review			Site plan review, landscape and parking standards. Site plan approval shall be required for all new construction and additions to existing structures. Site plan, site design and landscape standards are required as enumerated in Article V of this Zoning Ordinance. Off-street parking shall be provided for each use shown in Table 4.01.1, as required or permitted in Article VII (Off-Street Parking and Loading)
<b>Parking</b>			
Parking standards	9 FT		9x18' with 20' aisle.
Residential Parking	5		1.5 spaces per unit
Furniture Retail Parking	5		2.5 spaces per 1,000 SF gross
Office Parking	3		3 spaces per 1,000 SF gross
		9 total	spaces shown on plan

Revisions

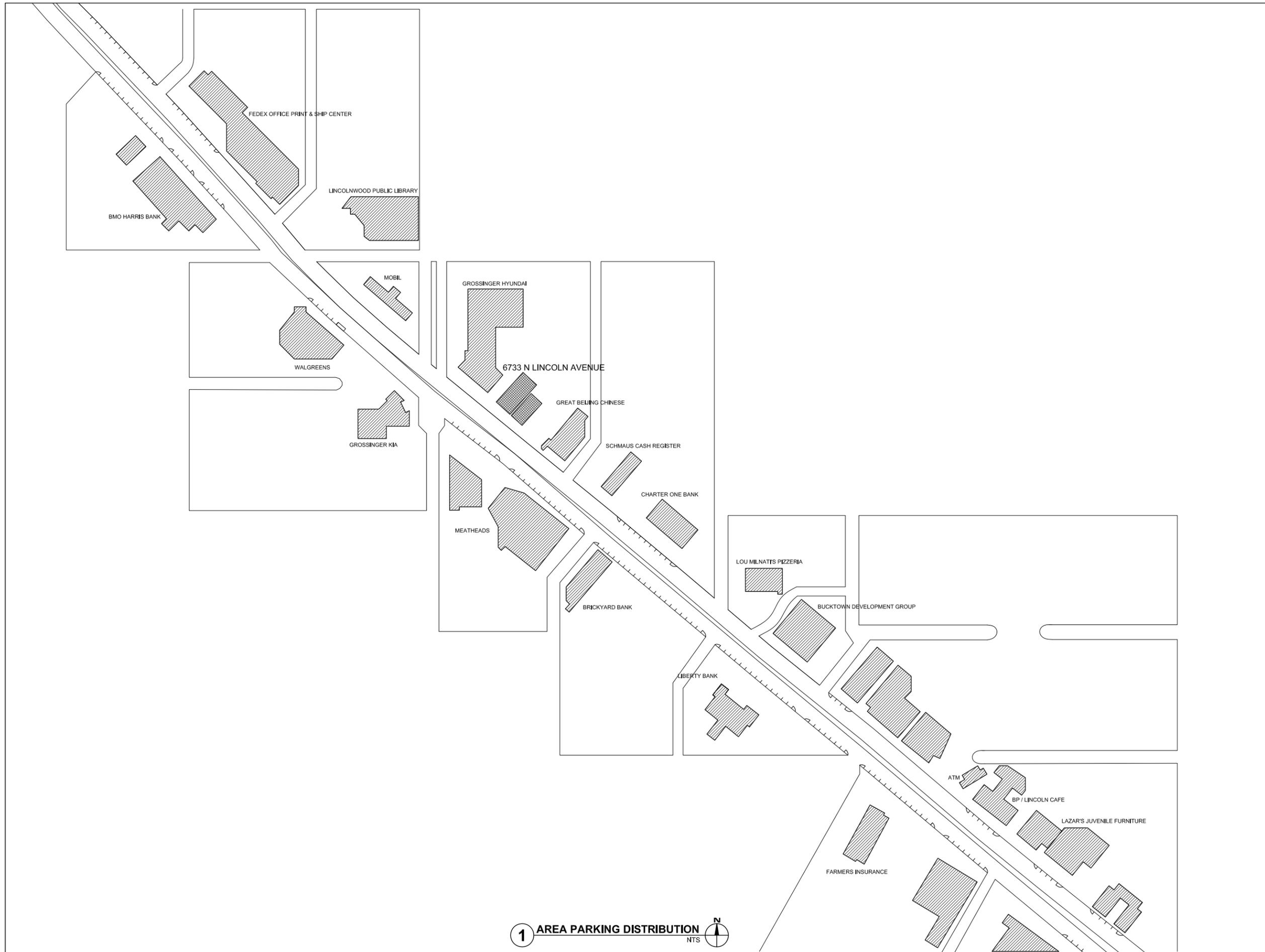
Projects  
**COMMERCIAL AND RESIDENTIAL CONST.  
 ELITE HOME FURNISHINGS**

6733 N LINCOLN AVE  
 LINCOLNWOOD, IL

**SITE PLAN,  
 SYMBOLS, CODE ANALYSIS  
 & EXTERIOR VIEWS**

Date 08/03/15 Drawing No.  
 Scale NOTED  
 Drawn by --  
 Approved --

**A1**



**1 AREA PARKING DISTRIBUTION**  
NTS

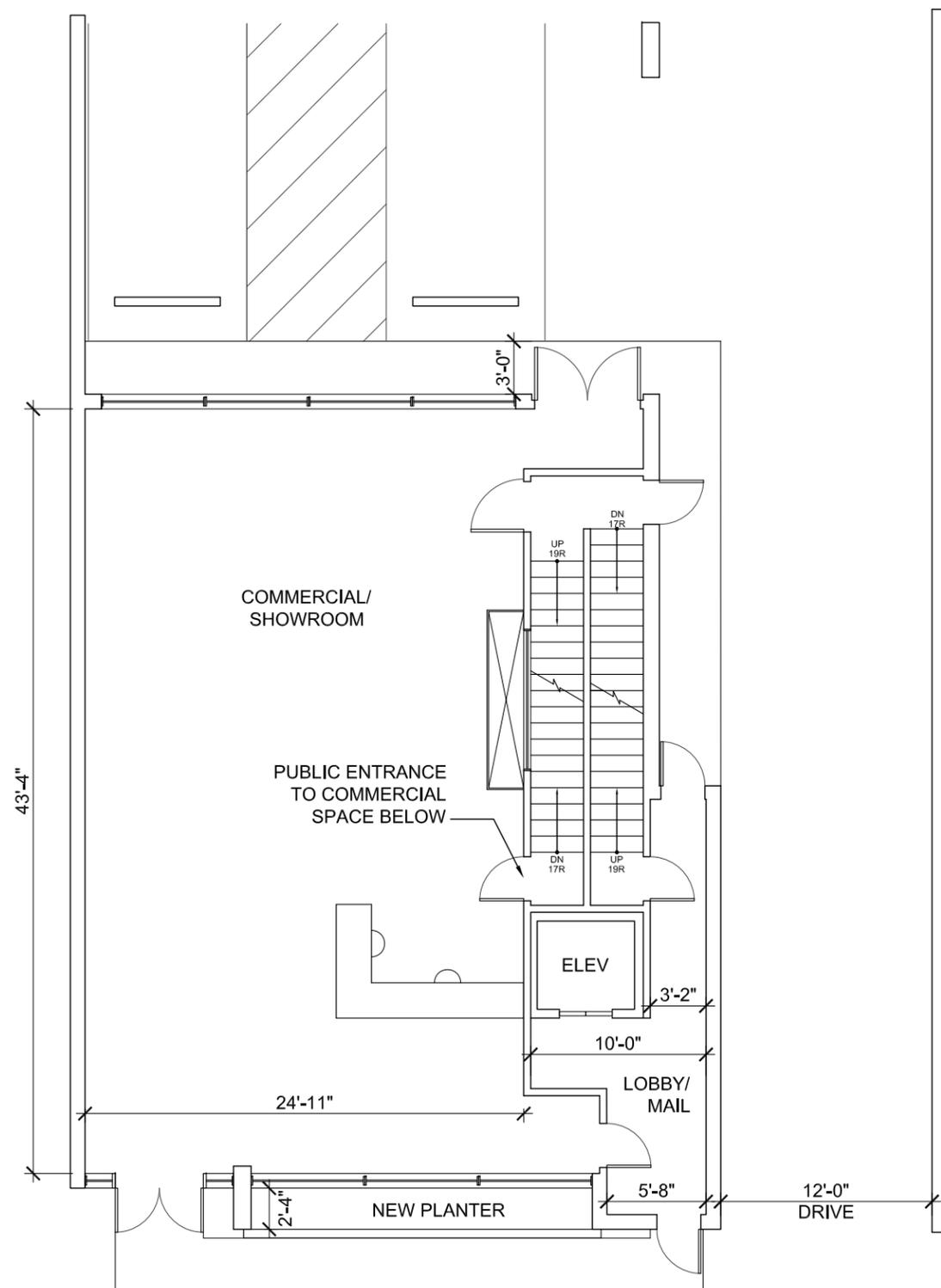
Revisions


Projects

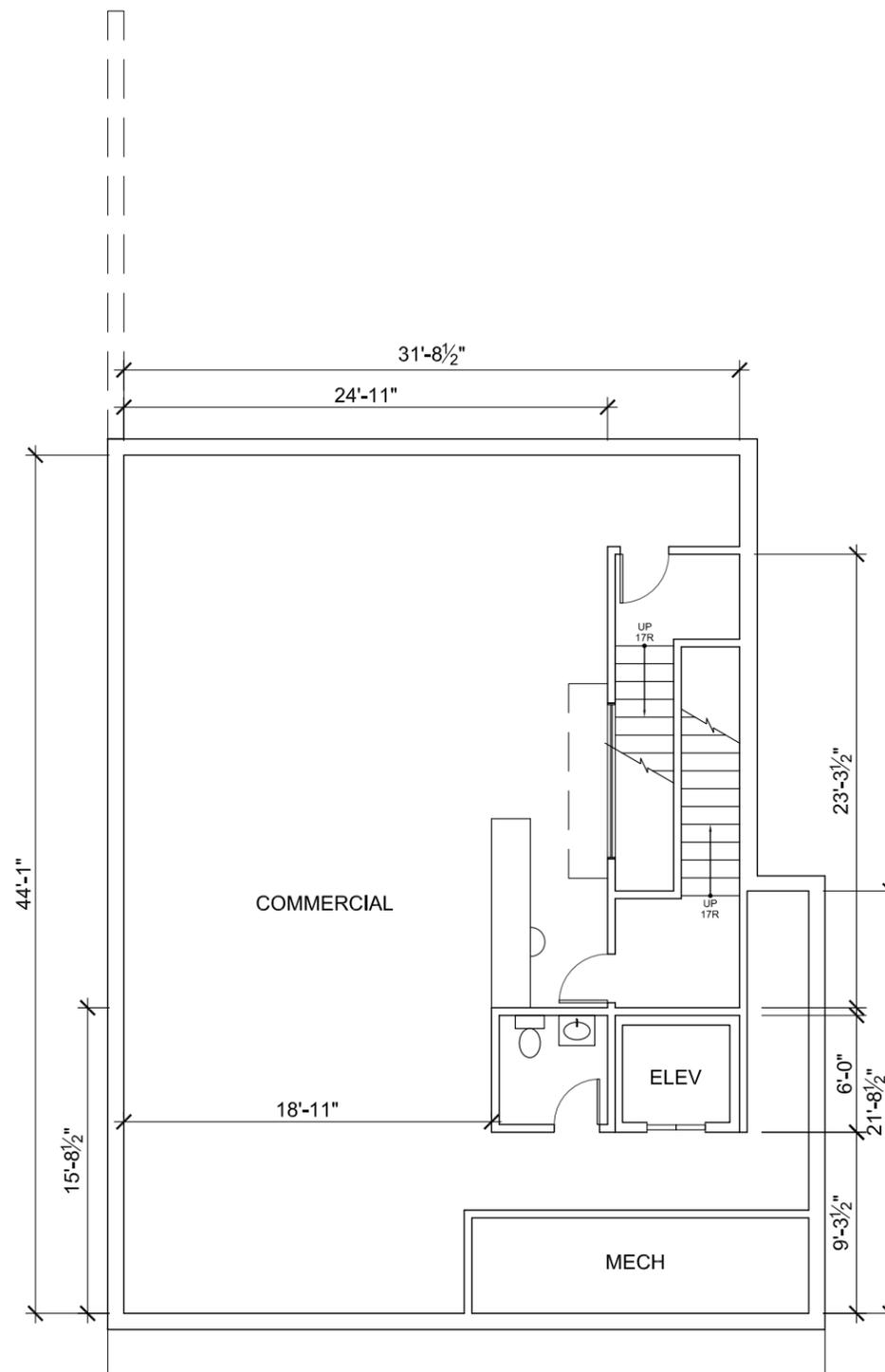
COMMERCIAL AND RESIDENTIAL CONST.  
**ELITE HOME FURNISHINGS**  
6733 N LINCOLN AVE  
LINCOLNWOOD, IL

**AREA PARKING DISTRIBUTION**

Date	08/03/15	Drawing No.	<b>A1.1</b>
Scale	NOTED		
Drawn by	--		
Approved	--		



**2 FIRST FLOOR PLAN**  
1/4"=1'-0"



**1 BASEMENT PLAN**  
1/4"=1'-0"

Revisions


Projects

COMMERCIAL AND RESIDENTIAL CONST.  
**ELITE HOME FURNISHINGS**  
6733 N LINCOLN AVE  
LINCOLNWOOD, IL

**BASEMENT AND  
FIRST FLOOR  
PLANS**

Date 08/03/15

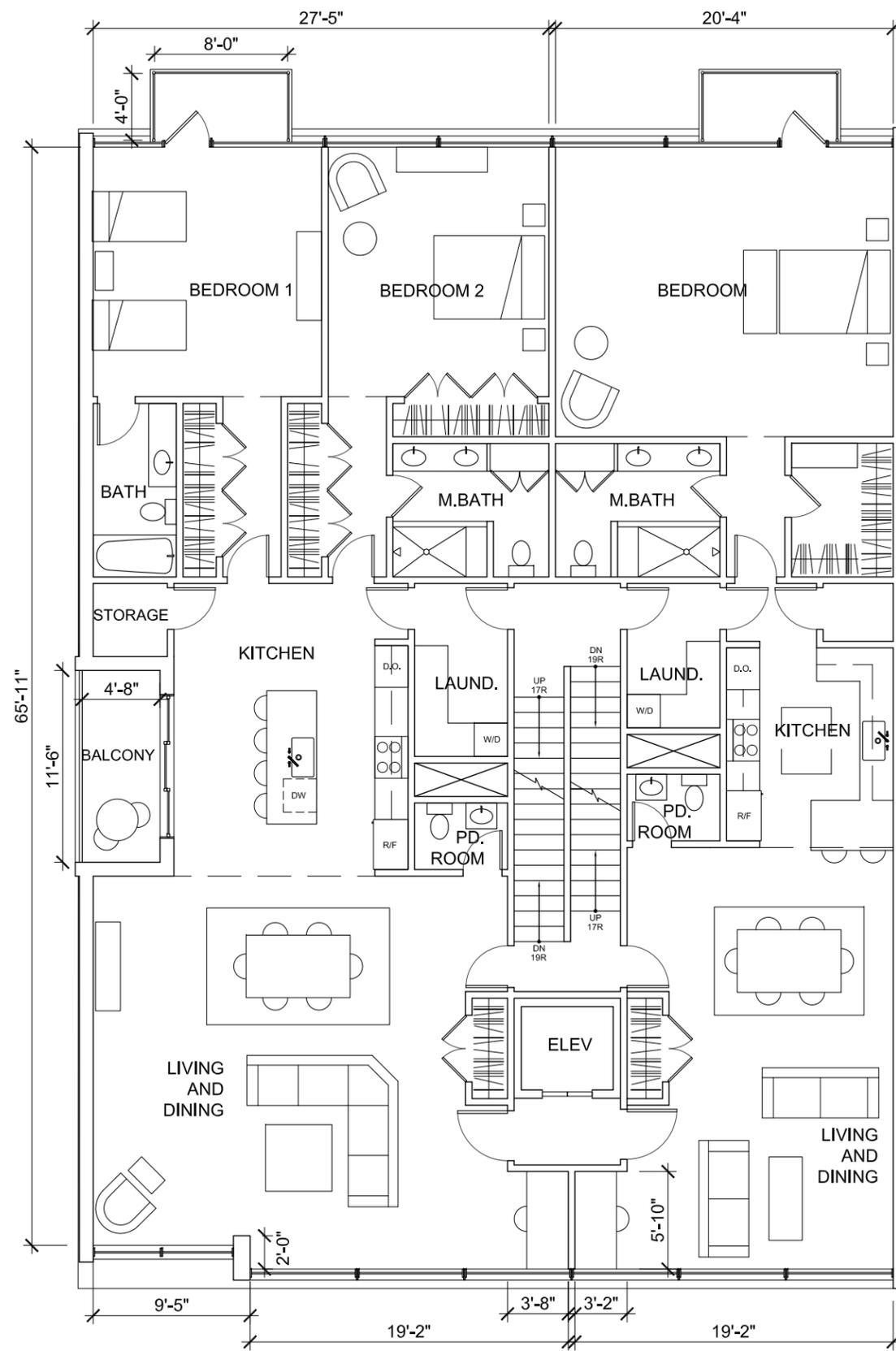
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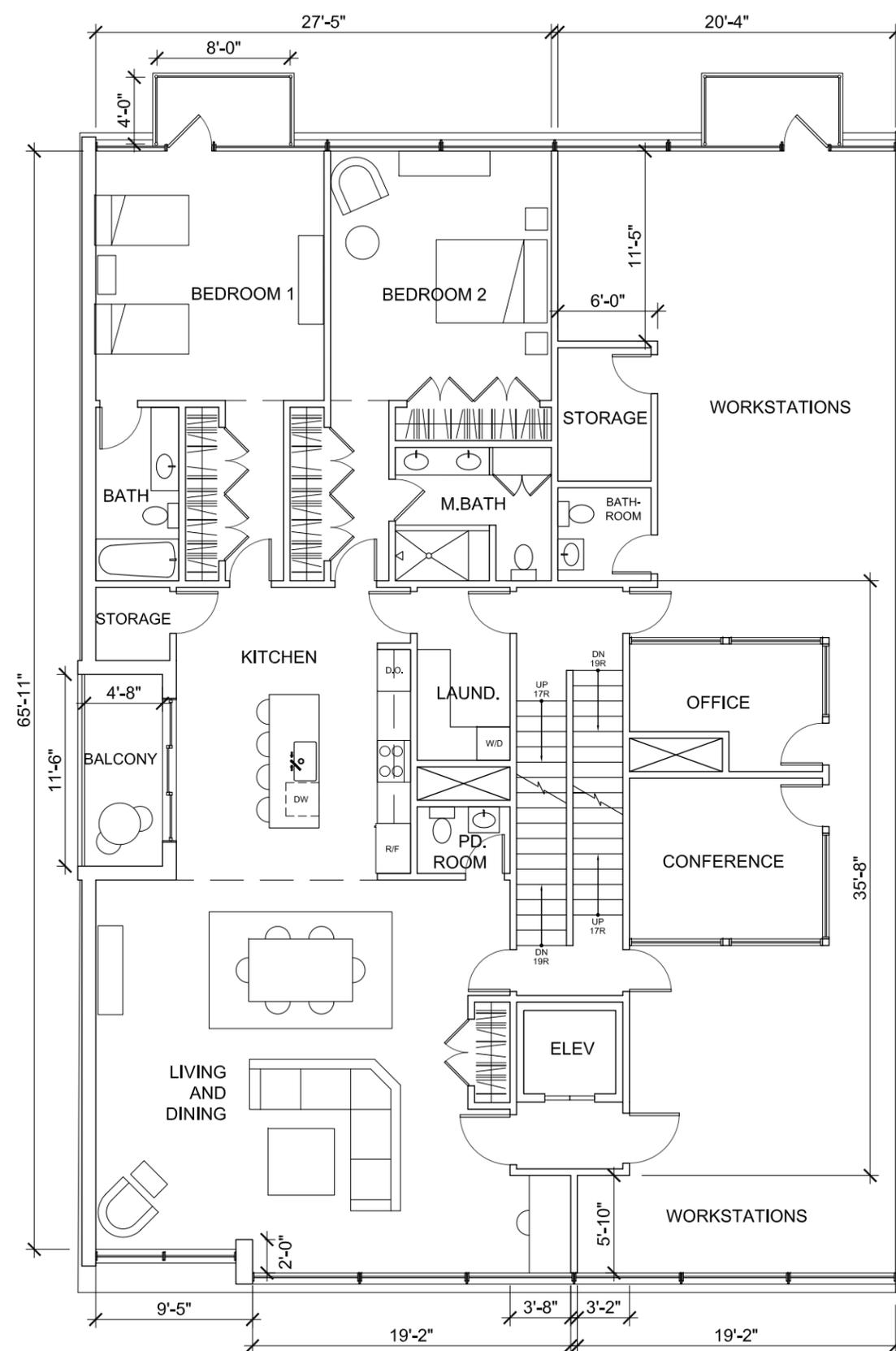
Approved --

Drawing No.

**A2**



**2 THIRD FLOOR PLAN**  
1/4"=1'-0"



**1 SECOND FLOOR PLAN**  
1/4"=1'-0"

Revisions

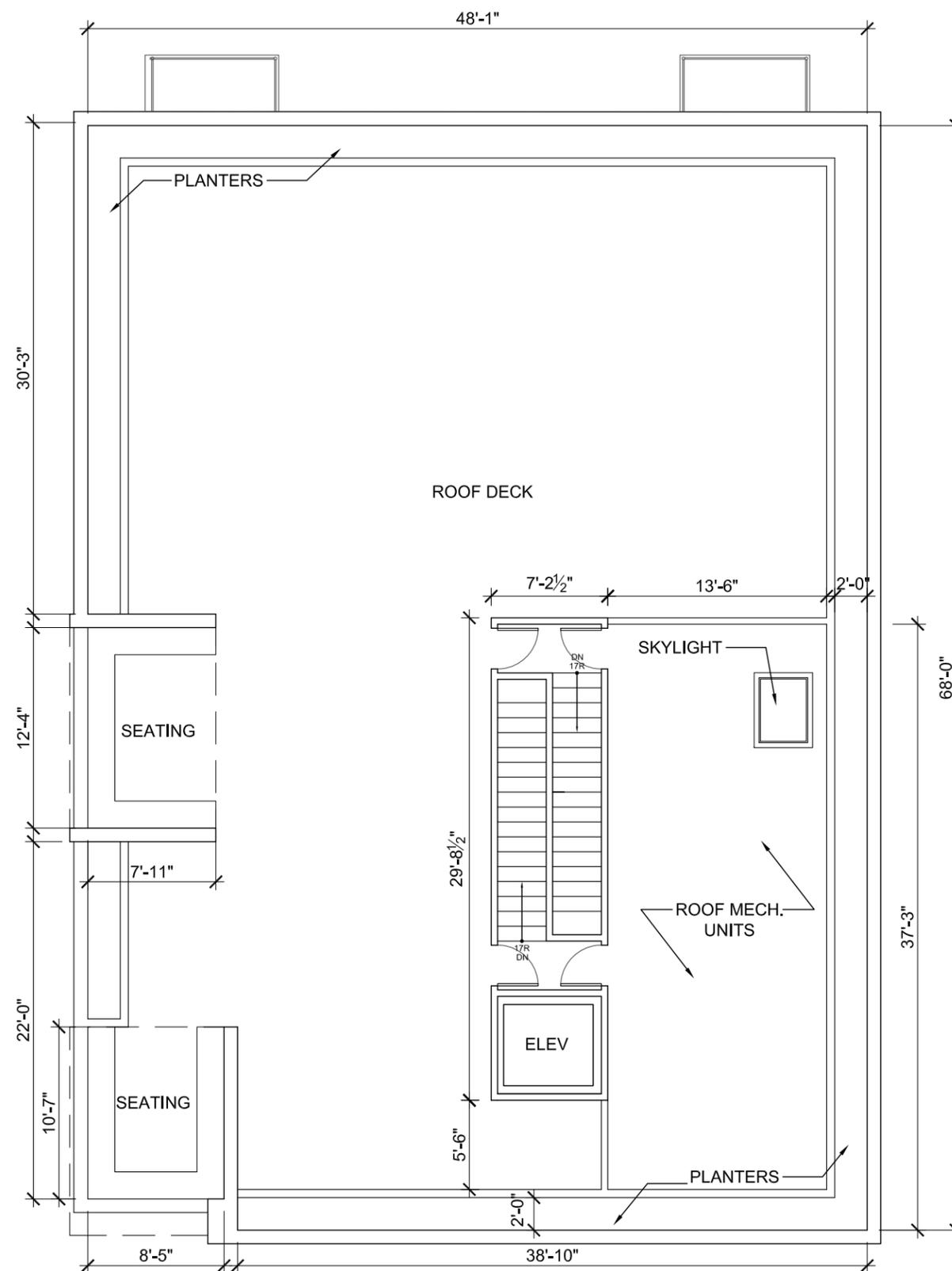

Projects

COMMERCIAL AND RESIDENTIAL CONST.  
ELITE HOME FURNISHINGS

6733 N LINCOLN AVE  
LINCOLNWOOD, IL

SECOND AND  
THIRD FLOOR  
PLANS

Date	08/03/15	Drawing No.	<b>A3</b>
Scale	NOTED		
Drawn by	--		
Approved	--		



**2 ROOF PLAN**

1/4" = 1'-0"



Revisions

Projects  
 COMMERCIAL AND RESIDENTIAL CONST.  
**ELITE HOME FURNISHINGS**  
 6733 N LINCOLN AVE  
 LINCOLNWOOD, IL

**ROOF PLAN**

Date 08/03/15

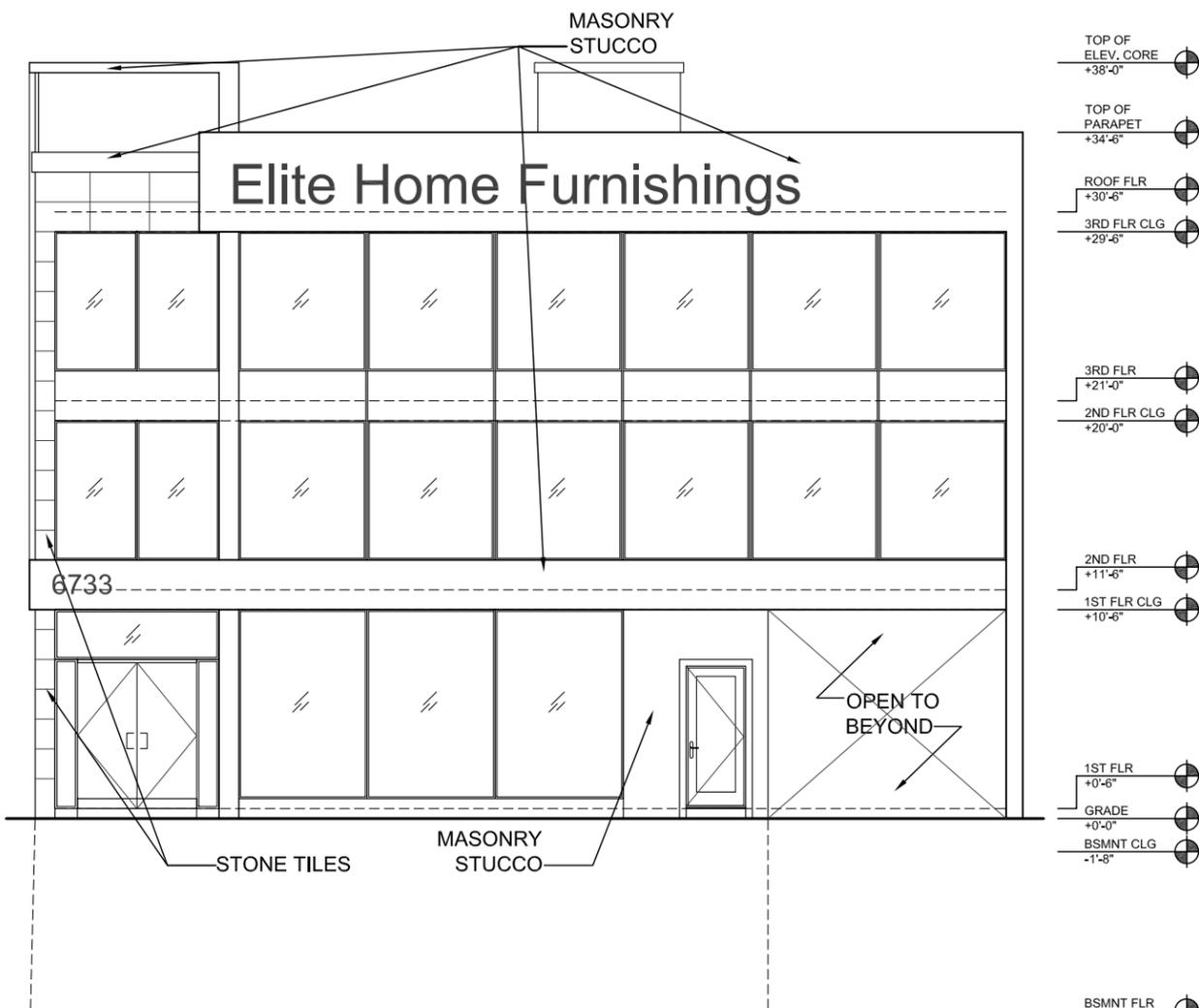
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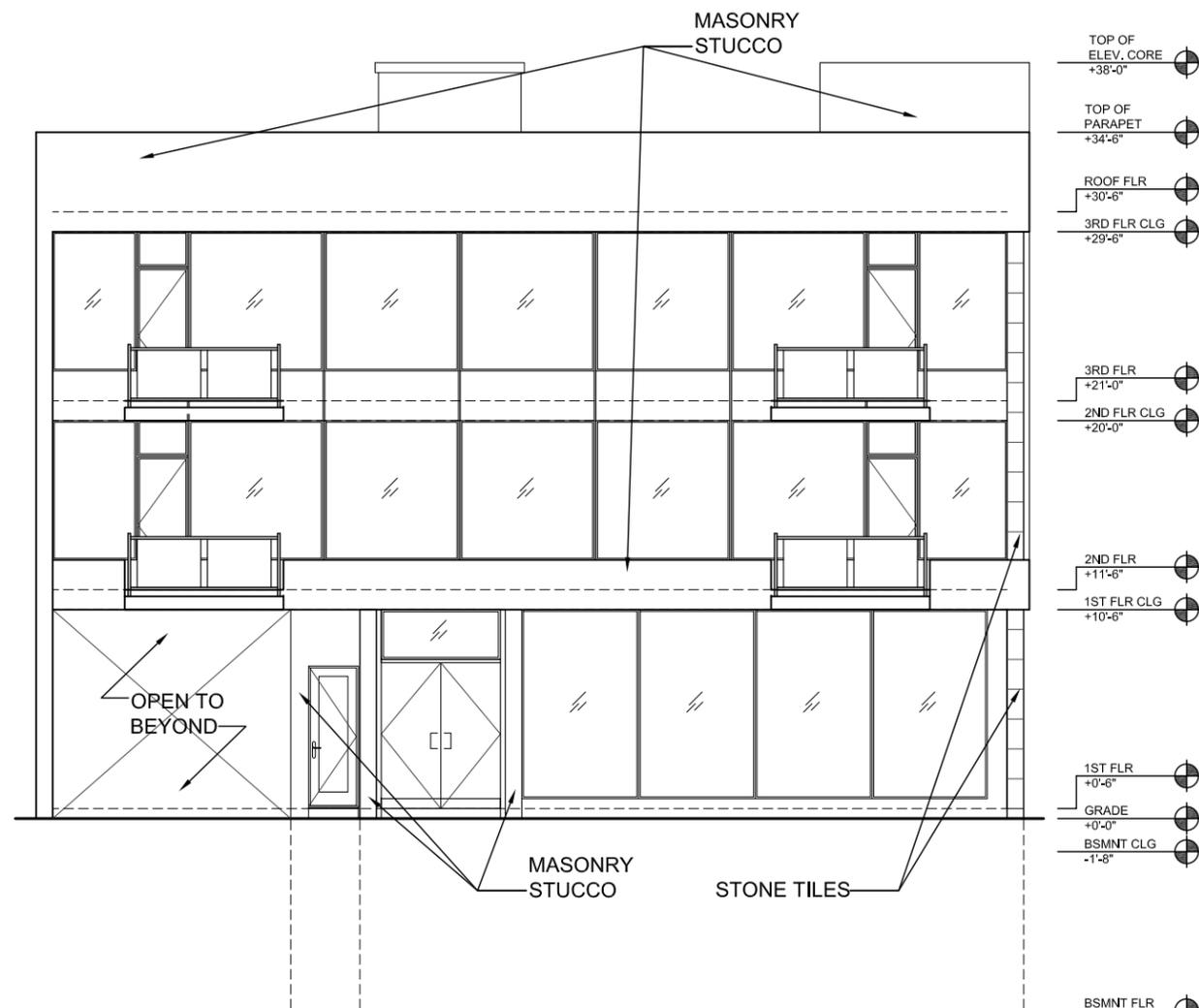
Drawn by --

Approved --

**A4**



**2 ELEVATION**  
LOOKING NORTH-WEST 1/4"=1'-0"



**1 ELEVATION**  
LOOKING SOUTH EAST 1/4"=1'-0"

Revisions

Projects  
COMMERCIAL AND RESIDENTIAL CONST.  
**ELITE HOME FURNISHINGS**

6733 N LINCOLN AVE  
LINCOLNWOOD, IL

EXTERIOR ELEVATIONS

Date 08/03/15

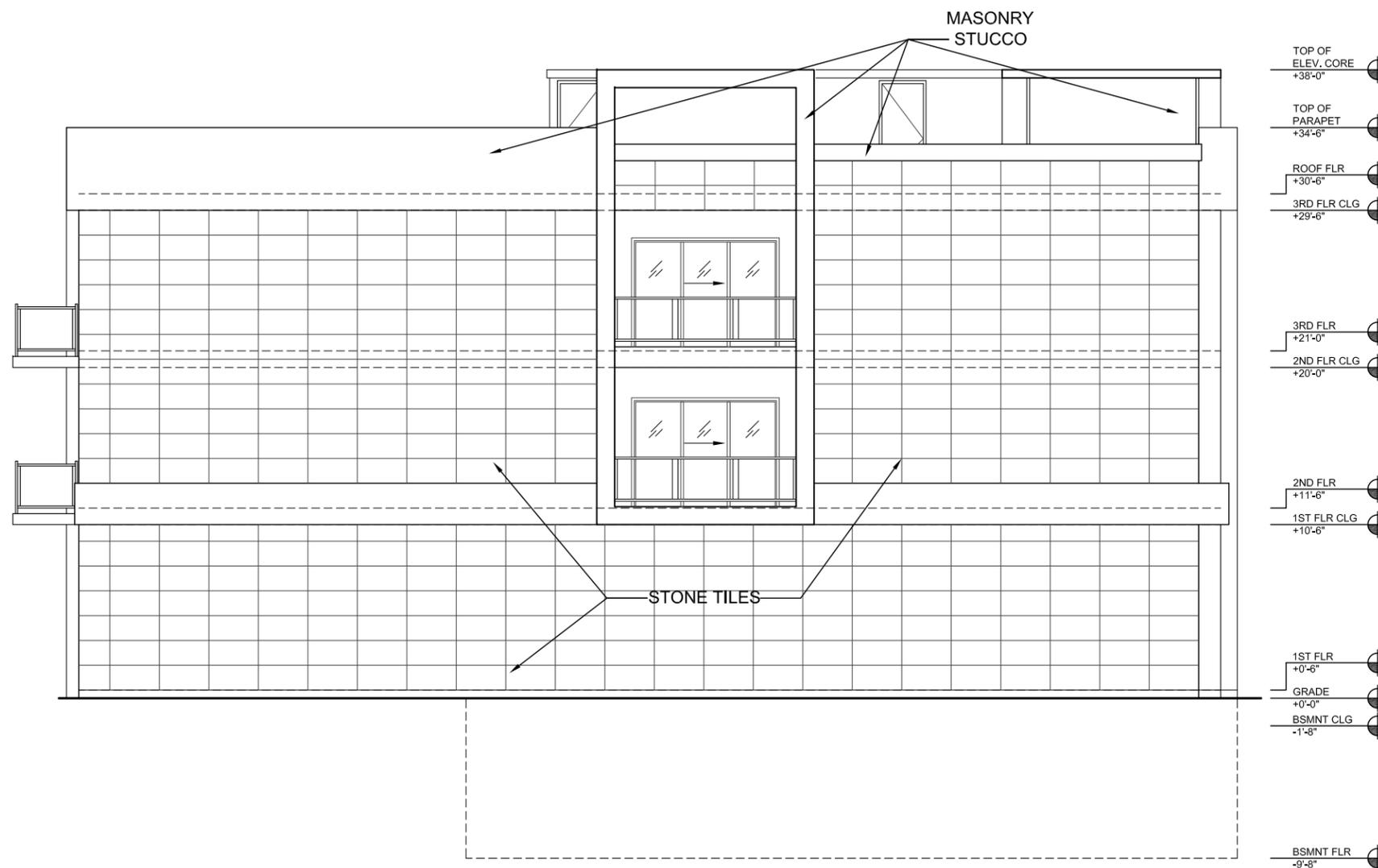
Drawing No.

Scale NOTED

Drawn by --

Approved --

**A5**



**1** ELEVATION  
LOOKING SOUTH EAST 1/4"=1'-0"

Revisions

Projects  
COMMERCIAL AND RESIDENTIAL CONST.  
**ELITE HOME FURNISHINGS**

6733 N LINCOLN AVE  
LINCOLNWOOD, IL

EXTERIOR ELEVATIONS

Date 08/03/15

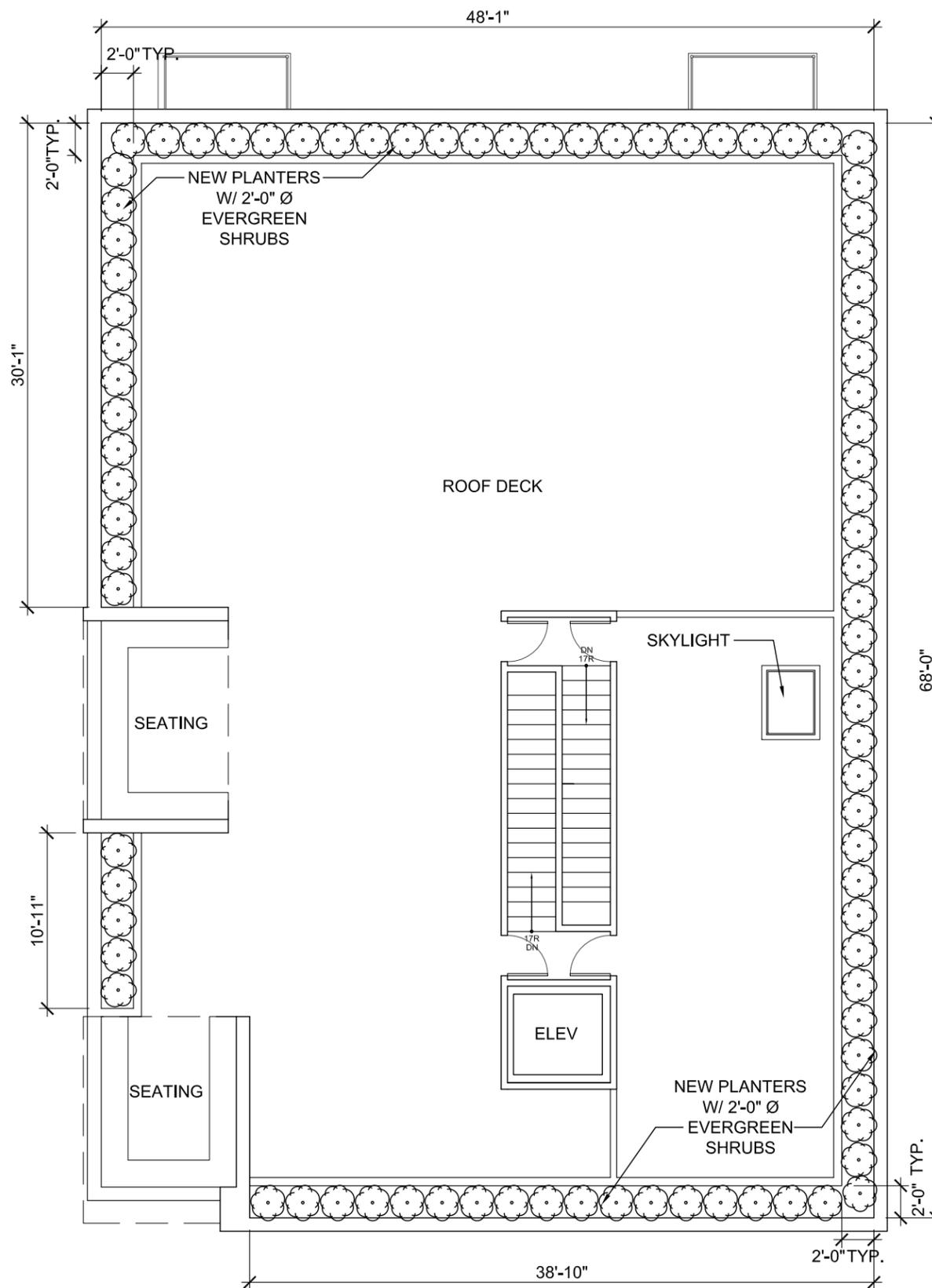
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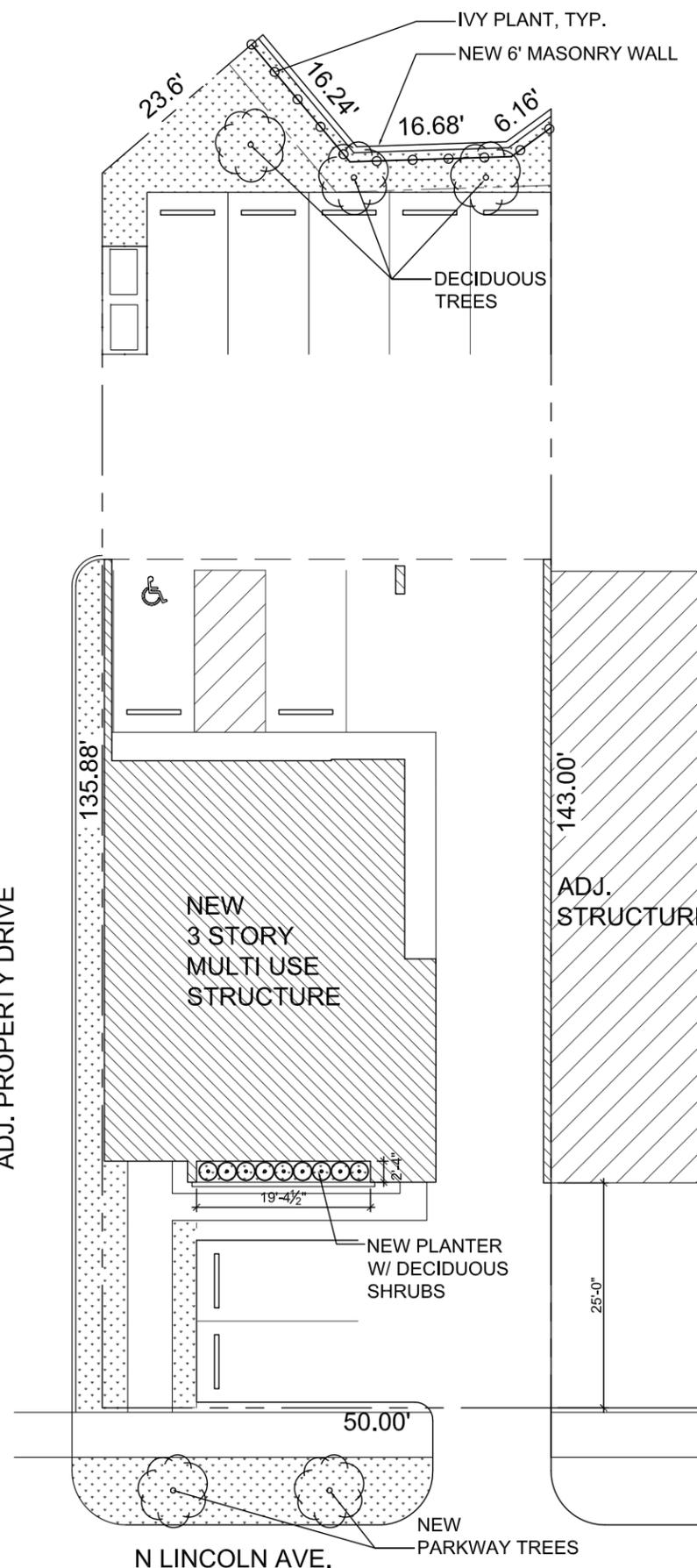
Drawn by --

Approved --

**A6**



**1 ROOF LANDSCAPING PLAN**  
 1/4"=1'-0"



**1 SITE LANDSCAPING PLAN**  
 1/8"=1'-0"

Revisions

Projects  
 COMMERCIAL AND RESIDENTIAL CONST.  
**ELITE HOME FURNISHINGS**  
 6733 N LINCOLN AVE  
 LINCOLNWOOD, IL

LANDSCAPING PLANS

Date 08/03/15  
 Scale NOTED  
 Drawn by --  
 Approved --

Drawing No.  
**L1**



## Plan Commission Staff Report

Case #PC-11-15

September 2, 2015

**Subject Property:** N/A (Text Amendment)

**Requested Action:** Text Amendment to Article II Section 2.02 to add an appropriate definition for “Short-term rental property” and Table 4.01.1 to include “Short-term rental property” as a Permitted, Special Use, or Prohibited Use in Village Zoning Districts.

**Notification:** Notice in Lincolnwood Review dated August 13, 2015

**Petitioner:** Lincolnwood Village Board

### **Summary**

In recent months, Village staff has been contacted regarding several residential properties in use as short-term rentals. These short-term rentals are typically rented out by the property owner of a residential property via websites such as AirBNB or Vacation Rentals By Owner (VRBO). Guests reserve dates for the purpose of using the residential property on a temporary basis.

The use of a residential property as a short-term rental by transient guests for overnight lodging is perhaps most similar to a “Hotel or Motel” use. However, as currently defined, these residential properties used as short-term rentals do not fit the description of a “Hotel or Motel”. The Zoning Code does not anticipate transient uses such as short-term rentals within residential districts. In order to clarify the intent of the Zoning Code to prohibit these uses in residential districts, an amendment is appropriate.

Attached is a cover memo from Steven M. Elrod, Village Attorney, regarding potential Zoning Code amendments to distinguish short-term rentals from traditional residential land uses. Mr. Elrod identifies amendments to Section 2.02 of the Zoning Code for the purpose of defining “short-term rental property” and modification to other definitions to distinguish traditional residential dwellings from short-term rental properties. Also identified is an amendment to Table 4.01.1 to include “short-term rental property” as a permitted use, special use, or prohibited use in Village zoning districts.

Alternatively, regulating short-term rental properties through a licensing process may be appropriate. Such regulations for the licensing of short-term rental properties does not require a public hearing before the Plan Commission as the provisions would be within the Village Code and not the Zoning Code.

This matter was referred to the Plan Commission for public hearing by the Village Board at their July 21, 2015 meeting. It is anticipated that Hart Passman, Village Attorney, will be present at the September 2, 2015 Plan Commission meeting.

Attached is proposed language prepared by the Village Attorney for consideration by the Plan Commission. The matter for deliberation by the Plan Commission is the preferred definition of "Short-term rental property" and how to regulate them within the Village's Zoning Districts.

**Attachments:**

1. Memorandum from Steven M. Elrod dated July 14, 2015
2. Proposed Draft Amendments to Village of Lincolnwood Zoning Ordinance

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(312) 578-6565  
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## Memorandum

Date: July 14, 2015

To: Timothy Clarke, Community Development Director

From: Steven M. Elrod, Village Attorney

cc: Timothy Wiberg, Village Manager  
Aaron Cook, Development Manager

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Re: Short-Term Rentals: Potential Zoning Ordinance Amendments

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As you requested, we have prepared potential amendments to the Village of Lincolnwood Zoning Ordinance that would permit the Village to regulate the short-term rental of residential properties as a separate land use from traditional residential land uses. The amendments include: (1) defining the term “short-term rental property;” (2) amending other definitions to distinguish traditional residential dwellings from short-term rental properties; and (3) amending Table 4.01.1 to include “short-term rental property” under the “Lodging” use group and to designate short-term rental properties as permitted uses, special uses, or prohibited uses in the Village’s zoning districts.

We have provided two alternative definitions of “short-term rental property.” The first definition uses an objective standard. A building must be held out for rent for a minimum number of months during a 12-month period (to be determined by the Plan Commission and Village Board). This standard would be relatively easy to apply, so long as staff has access to information about the time a building has been held out for rent (e.g., by consulting the website of AirBNB). The second definition is subjective. A building must be “primarily” held out for rent on a short-term basis. This standard is less precise because people may disagree about the meaning of “primarily.” However, if staff cannot obtain information regarding the time that a property is held out for rent, “primarily” may provide appropriate flexibility.

We inserted question marks in Table 4.01.1 to seek direction regarding how short-term rental properties should be classified (i.e., as permitted, special, or prohibited uses). We also suggest that the Village consider whether it is appropriate to impose other regulations on short-term rental properties, such as locational restrictions or performance standards. Any such regulations could be added to the Zoning Ordinance as part of these proposed amendments.

Finally, the Village may want to consider whether it would be appropriate to regulate short-term rental properties through a licensing scheme, as is done in the City of Chicago. Licensing provisions need not go through the Plan Commission hearing process, as they would be located within the Village Code and not the Zoning Ordinance. Please let us know if the Village is

July 13, 2015

Page 2

interested in developing a licensing program, either in tandem with, or in lieu of, the proposed zoning amendments.

**Proposed Draft Amendments to Village of Lincolnwood Zoning Ordinance  
For the Regulation of Short-Term Rental Properties**

Section 2.02 Definitions.

Add new definition of “Short-Term Rental Property”:

**SHORT-TERM RENTAL PROPERTY**

**A building or portion thereof that is held out for rent on a nightly, weekly, or monthly basis for overnight lodging for transient guests for more than months during a 12-month period.**

[ALTERNATIVE]

**SHORT-TERM RENTAL PROPERTY**

**A building or portion thereof that is primarily held out for rent on a nightly, weekly, or monthly basis for overnight lodging for transient guests.**

Amend the following definitions as follows:

**DUPLEX/TWO-FAMILY DWELLING**

A ~~building~~ **dwelling** containing two dwelling units only, one above the other.

**DWELLING**

A building or portion thereof designed or used exclusively for **non-transient** residential purposes, including single-family, two-family and multiple-family dwellings, but not including lodging rooms in hotels, motels, ~~or~~ rooming houses, ~~or~~ **or short-term rental properties.**

**DWELLING UNIT**

One or more rooms **within a dwelling** which are arranged, designed or used as living quarters for one family only. Individual bathrooms and complete single kitchen facilities, permanently installed to serve the entire family, shall always be included within each "dwelling unit."

**BED AND BREAKFAST**

A private, owner-occupied business in a single-family ~~residence~~ **dwelling** where overnight accommodations and a morning meal are provided to transients for compensation. **The term “bed and breakfast” does not include short-term rental properties.**

## HOME OCCUPATION

Any home occupation or profession conducted entirely within a dwelling by a member of the family residing in the dwelling and when such home occupation is incidental and secondary to the use of the dwelling for dwelling purposes, and in connection with which: (a) there is no other display or activity that will indicate from the exterior of the dwelling that it is being utilized in whole or in part for any purpose other than a residential use; (b) there is not sold or conducted a commodity or service that requires regular receipt and delivery of merchandise, goods or equipment by other than first class mail; (c) an accessory building is not used in whole or in part for such home occupation; (d) vehicular traffic in the vicinity of the dwelling is not increased by more than one additional vehicle at a time; and (e) no separate entrance is provided in connection with the conduct of any home occupation. **The operation of a short-term rental property is not a home occupation.**

## HOTEL OR MOTEL

An establishment which is open to transient guests, in contradistinction to a lodging house, boarding house, or a rooming house, and is commonly known as a hotel in the Village of Lincolnwood, and which provides the following customary hotel services; maid service; furnishing and laundry of linens; telephone and secretarial and desk service; the use and upkeep of furniture; and bellboy service. **Regardless of the services provided, a short-term rental property is not a hotel or motel.**

## MULTIPLE-FAMILY DEVELOPMENT

A detached building designed and used as a dwelling by three or more families occupying separate ~~suites~~ **dwelling units**.

## MULTIPLE-FAMILY DWELLING

A ~~building~~ **dwelling** containing three or more dwelling units.

## TOWNHOUSE

An attached single-family residential ~~housing~~ **dwelling** design which typically contains three or more dwelling units having one or more walls abutting with another dwelling and designed to have all exits open directly to the outside.

Table 4.01.1

Amend Table 4.01.1 as follows:

\* \* \*

Use Category	Zoning Districts											
	Residential				Business			Office	Manufacturing/ Business	Public	Standard	
	R-1	R-2	R-3	R-4	B-1	B-2	B-3 P D	O-1	M-B (Note 8)	P		
Restaurant, >=5,000 sf	—	—	—	—	S	S	P	—	S	—	§ 4.07(6)	
Pub, bar, lounge	—	—	—	—	S	S	P	—	S	—	§ 4.07(10)	
Entertainment and recreation												
Billiard club	—	—	—	—	S	S	P	—	—	—		
Commercial recreational facility					S	P	P	S	S			
Golf course, private	S	S	S	S	—	—	—	—	—	—		
Health club	—	—	—	—	S	P	P	S	S	—		
Entertainment venue	—	—	—	—	S	S	S	—	—	—		
Facility with drive-through	—	—	—	—	S	S	P	—	—	—	§ 4.07(8)	
Financial services												
Bank, credit union, savings and loan	—	—	—	—	—	P	—	—	—	—		
Firearms shooting range									S		§ 4.08(5)	
Food and beverage retail sales												
Convenience store	—	—	—	—	P	P	P	—	—	—		
Grocery store, <30,000 sf	—	—	—	—	P	P	P	—	—	—		
Grocery store, >=30,000 sf	—	—	—	—	S	S	P	—	—	—		
Liquor store, package goods	—	—	—	—	S	S	S	—	S	—		
Lodging												
Bed-and-breakfast (4 or less guest rooms)	—	—	—	—	S	S	P	—	—	—		
Hotel/motel	—	—	—	—	S	S	P	—	—	—		
<b><u>Short-term rental property</u></b>	<u>?</u>	<u>?</u>	<u>?</u>	<u>?</u>	<u>?</u>	<u>?</u>	<u>?</u>	<u>?</u>	<u>?</u>	<u>?</u>	<u>?</u>	
Medical cannabis dispensary	—	—	—	—	S	—	—	—	S (Note 9)	—	§ 4.07(16)	
Office (except as more specifically regulated)												

\* \* \*