



**VILLAGE OF LINCOLNWOOD
PRESIDENT AND BOARD OF TRUSTEES
COMMITTEE OF THE WHOLE MEETING
VILLAGE HALL COUNCIL CHAMBERS
7:00 P.M., SEPTEMBER 6, 2016**

AGENDA

- I) Call to Order**
- II) Roll Call**
- III) Minutes – Committee of the Whole Meeting – August 16, 2016**
- IV) Regular Business**
 - 1) Discussion Concerning any Questions on Village Board Meeting Agenda Items (7:00 – 7:10 p.m.)
 - 2) Discussion Concerning a Request to Rezone the Property Located at 4120 Morse Avenue (7:10 – 7:30 p.m.)
- V) Public Comment**
- VI) Adjournment**

DATE POSTED: September 2, 2016

**VILLAGE OF LINCOLNWOOD
PRESIDENT AND BOARD OF TRUSTEES
COMMITTEE OF THE WHOLE MEETING
VILLAGE HALL COUNCIL CHAMBERS
AUGUST 16, 2016**

DRAFT

Call to Order

President Turry called the Committee of the Whole meeting of the Lincolnwood Board of Trustees to order at 6:00 P.M., Tuesday, August 16, 2016 in the Council Chambers of the Municipal Complex, 6900 North Lincoln Avenue, Village of Lincolnwood, County of Cook and State of Illinois.

Roll Call

On roll call by Village Clerk Beryl Herman the following were:
PRESENT: President Turry, Trustees Bass, Elster, Klatzco, Patel, Spino
ABSENT: Trustee Cope

A quorum was present. Also present: Timothy Wiberg, Village Manager; Douglas Petroschius, Assistant Village manager; Amanda Pazdan, Management Analyst ; Steve McNellis, Director of Community Development; Charles Greenstein, Village Treasurer; Robert LaMantia, Police Chief; Charles Meyer, Assistant to the Village Manager; Ashley Engelmann, Public Works Director; Aaron Cook, Community Development Manager.

Approval of Minutes

Minutes of the July 19, 2016 Committee of the Whole meeting were distributed in advance of the meeting and were examined. Trustee Spino moved to approve the minutes. Trustee Klatzco seconded the motion. The motion was approved by Voice Vote.

Regular Business

1. Discussion Concerning any Questions on Village Board Meeting Agenda Items

President Turry announced that any questions would be discussed at this point, not at the Regular Village Board meeting. The purpose of this opportunity for questions is to keep the Regular Village Board meeting moving along.

There were no questions from Trustees.

2. Discussion Concerning a Proposed Use for the Former Kow Kow Restaurant Site

Mr. McNellis presented this item.

The property being discussed is the South East corner of Pratt and Cicero (6755 N. Cicero). The property is zoned B-2 General Business.

Property owner Wendy Moy and Attorney Craig Krandel addressed the Board.

It was stated that Grossinger Auto is interested in purchasing this property.

No representative from Grossinger was present.

3. Discussion Concerning the Proposed Revised Comprehensive Plan

This item was presented by Mr. Cook.

This was a continuation of the discussion at the previous Committee of the Whole meeting regarding key recommendations of the new comprehensive plan.

Pedestrian Mobility (Plan Section 6, Bicycle & Pedestrian Mobility Goal 1)

*Establish a long-term sidewalk infill program

Public Transportation (Plan Section 6, Transit Goal 1)

*Amendments to Zoning Code to reference PACE's Design Review Assistance for Transit (DRAFT) program for development projects abutting bus transit alignments.

Parks (Plan Section 7, Parks and Open Spaces Goal 1)

*Monitor and potentially acquire, where appropriate, properties adjacent to existing parks to accommodate park expansion

Parks (Plan Section 7, Parks and Open Spaces Goal 2)

*Establish formal agreements with School District 74 for the shared use of indoor and outdoor recreational facilities

Discussion ensued.

Adjournment to Closed Session

At 6:48 P.M. Trustee Spino made a motion to adjourn the Committee of the Whole to Closed Session for discussion of Land Acquisition Section 2(c)(5) and Land Sale 2 (c) (6). The motion was seconded by Trustee Bass.

Upon Roll Call the Results were:

AYES: Trustees Spino, Bass, Klatzco, Elster, Patel

NAYS: None

Reconvention

At 7:27 PM President Turry reconvened Committee of the Whole.

Adjournment

At 7:28 P.M. Trustee Spino moved to adjourn Committee of the Whole, seconded by Trustee Elster.

The motion passed with a Voice Vote

Respectfully Submitted,

Beryl Herman
Village Clerk

MEMORANDUM

TO: President Turry and Members of the Village Board

FROM: Timothy C. Wiberg, Village Manager

DATE: September 2, 2016

SUBJECT: **September 6 Committee of the Whole Meeting**

As a reminder, the Committee of the Whole (COTW) meeting is scheduled for **7:00 p.m.** on Tuesday evening. **Please note that due to the late meeting start, dinner will not be provided.** Please find below a summary of the items for discussion:

1) **Discussion Concerning Any Questions on Village Board Meeting Agenda Items (7:00 – 7:10 p.m.)**

The Mayor has requested that time be devoted at each COTW meeting for staff to address any questions the Board may have concerning any item on the Village Board meeting agenda.

2) **Discussion Concerning a Request to Rezone the Property Located at 4120 Morse Avenue (7:10 – 7:30 p.m.)**

The home located at 4120 Morse Avenue is currently located in the B1 zone. The homeowner has requested that this property be rezoned R3. [Attached](#) is a memorandum from the Community Development Director summarizing some of the issues involved with this request. Board direction will be sought as to whether this request should be referred to the Plan Commission for the requisite public hearings.

If you should have any questions concerning these matters, please feel free to contact me.



MEMORANDUM

TO: Timothy Wiberg, Village Manager

FROM: Steve McNellis, Community Development Director

DATE: September 6, 2016

SUBJECT: Proposed Rezoning of 4120 West Morse Avenue from B-1, Traditional Business Zoning District to R-3 Residential Zoning District

Background

Mr. Lon Nianick, who has owned the single-family home at this location for 14 years, is requesting a rezoning from B-1 to R-3 as he intends to continue to use this home as a single-family residence and is concerned about the constraints he has as a legal nonconforming use in this commercial zoning district. As a legal nonconforming use, Mr. Nianick's home can continue to be used as a single-family residence, with all necessary repairs that may arise over the years being permitted. However, should the home be damaged beyond 50% of the overall cost of replacement of the structure, it would not be permissible to construct a new single-family structure at this location, as multi-family housing is the only residential use type permitted in the B-1 Zoning District.

The residential property at 4120 West Morse Avenue has been zoned B-1, Traditional Business since at least the adopted Zoning Map of 1962. It is unclear as to the zoning district in which this property was located prior to that time. The home itself was constructed in 1956. The property is currently in a Business Transition Overlay District, which is intended for commercial and office uses, with no residential uses envisioned. The property is located at the northeast corner of North Lincoln Avenue and West Morse Avenue, with a single contiguous point of frontage on North Lincoln Avenue, and the remainder of the frontage on West Morse Avenue.

Planning/Zoning Considerations

In reviewing the merits of this proposal, Staff recommends the Board consider the following:

1. **Planning Documents Designation** - Both the 2001 Comprehensive Plan and the proposed 2016 Updated Comprehensive Plan depict this property as having a proposed future land use of "Commercial/Office" (2001) or "Local/Corridor Commercial" (2016). It should be noted the 2001 plan stated the existing use at that time was Commercial/

Office, which was incorrect. The 2005 Lincoln Avenue Corridor Plan does not specifically depict a land use or building type for this property. The goal of all three plans appears to have been to encourage multi-family housing in selected areas along Lincoln Avenue, as infill uses, to help provide a transitional buffer to the single-family neighborhoods off Lincoln Avenue.

2. **Existing B-1-Zoned Property** – The B-1 Zoning District exists almost exclusively along the Lincoln Avenue corridor, between West Devon Avenue and West Estes Avenue. The vast majority of that property, which has frontage on Lincoln Avenue, consists of commercial uses. There are also two small multi-family developments located in the B-1 District on the Lincoln Avenue corridor. However, the subject property is the only single-family property on this corridor zoned B-1. Further, it is one of only two single-family properties along the entire Lincoln Avenue corridor, with the other single-family property zoned R-4, Multi-Family Residential.
3. **Property Frontage** – The subject property is unique in that it maintains frontage with Lincoln Avenue only at a point. The front of the home, driveway and bulk of the frontage lies on West Morse Avenue.
4. **Benefits of B-1 Zoning** – The current Zoning designation provides the opportunity for a consolidation with the A. Schoaneman Appraisal office fronting Lincoln Avenue to the north to create the potential for a larger commercial property with no further zoning action needed. The commercial zoning designation also notifies the commercial real estate community and anyone seeking commercial land on Lincoln Avenue that the Village’s intent is to have commercial property fronting on Lincoln Avenue. It also makes clear the Village’s intent to see properties consolidated to create larger commercial properties more indicative of retail/restaurant uses today.
5. **Benefits of R-3 Zoning** – The benefits of rezoning this property to a residential zoning accrue primarily to Mr. Nianick. Such a rezoning would allow him to invest more in the property through home additions and other major exterior changes as well as assist him with any future sale of the property as its expansion/remodeling and/or renovation would not be hamstrung by the Non-Conforming Uses section of the Zoning Code. While the more that is invested in this property as a residential use, the less likely it would be affordable for a conversion and consolidation for commercial uses, it is also possible that the current limited flexibility on this property could lead to disinvestment and possible future property maintenance issues.

Staff recommends the Village Board take into account the above-noted concerns when considering referral. While it is important that the Village be committed to increasing the commercial presence and flexibility on Lincoln Avenue, there are downsides to maintaining that commitment for this property which has almost no frontage on Lincoln Avenue. Should the property be rezoned to a residential designation, any future party interested in consolidating this property with the office use next door would always have the option of seeking to rezone this property back to the B-1 Zoning Designation. However, in the interim, given the fact there appears to have been no real interest in such a consolidation (likely given the small size of both the office and residential lots), a rezoning to R-3 would permit Mr. Nianick to invest in what has been his home for the past 14 years.

DOCUMENTS ATTACHED:

1. Property Owner’s Request Letter
2. Location and Zoning Map
3. Highlighted 1962 and 1991 Zoning Maps

August 25, 2016

Dear Steve & Aaron.

Pursuant to the meeting I had with you two gentlemen a few weeks ago and the subsequent conversations I had with Aaron, I would respectfully ask to meet with the Village Board to informally discuss a zoning change for my home at the address captioned above.

As we have been discussing, the existing "B" non-conforming use zoning of my property creates a serious hardship.

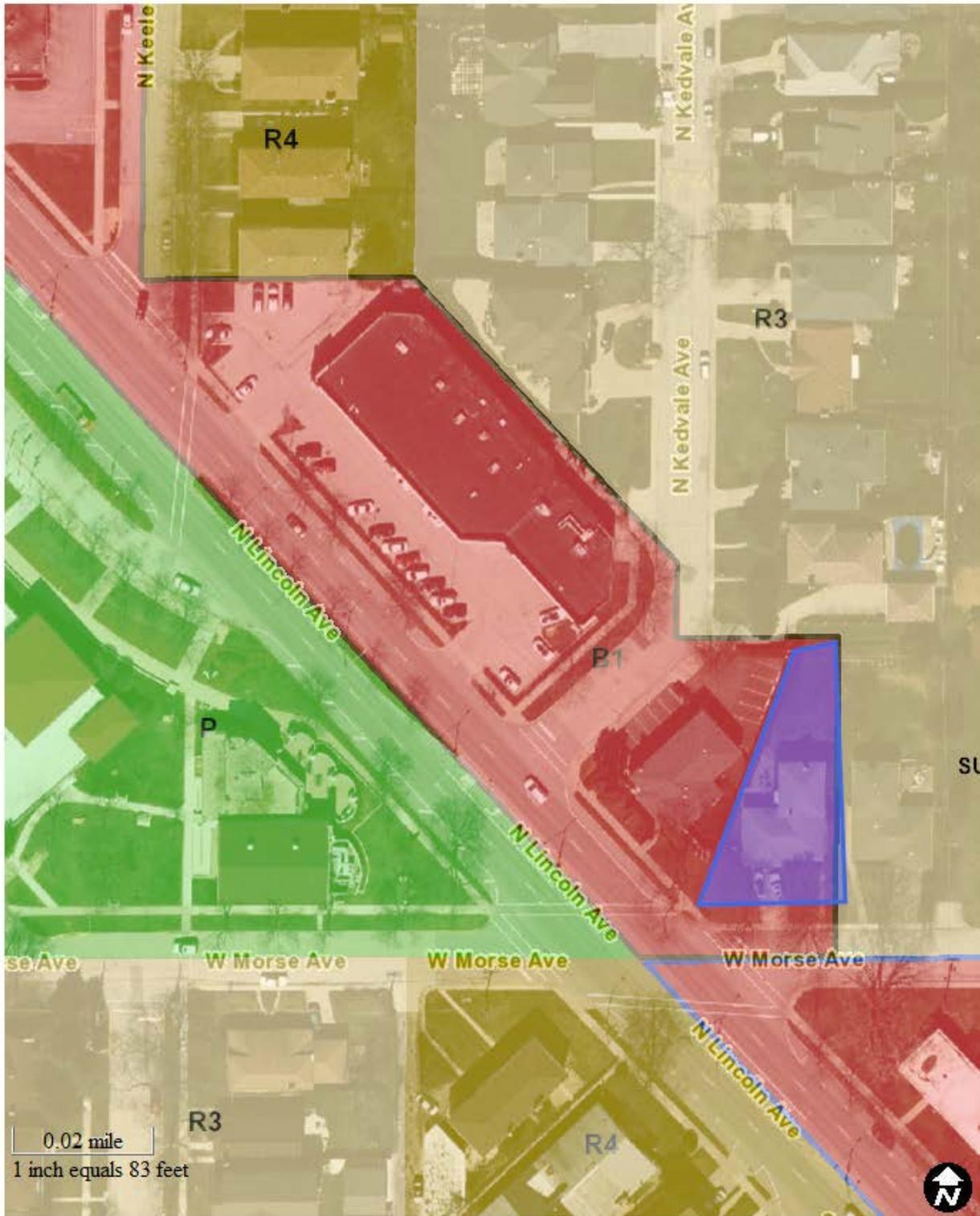
Short term, owning a home that exists within a B zoning and where all of the other homes are zoned residential directly impacts my immediate endeavor to refinance. Moving forward & creating a more serious hardship is the fact that the current "B" zoning will directly impact any chance I have to sell the home down the road. Without being able to change the zoning to residential, my family stands to lose any- all equity we may have in my home.

I of course believe that changing the zoning to residential will help my family maintain my equity. However, I truly believe that it's also in the best interest of the Village of Lincolnwood & the neighbors in the surrounding area to zone my lot residential.

I would appreciate an opportunity to share my thoughts informally with board members. Please let me know if the Village Board would be willing to let me meet with them.

Respectfully

Lon & Susan Nianick
4120 W. Morse Ave
Lincolnwood, IL 60712
H: 847-674-0077
C: 847-507-3500



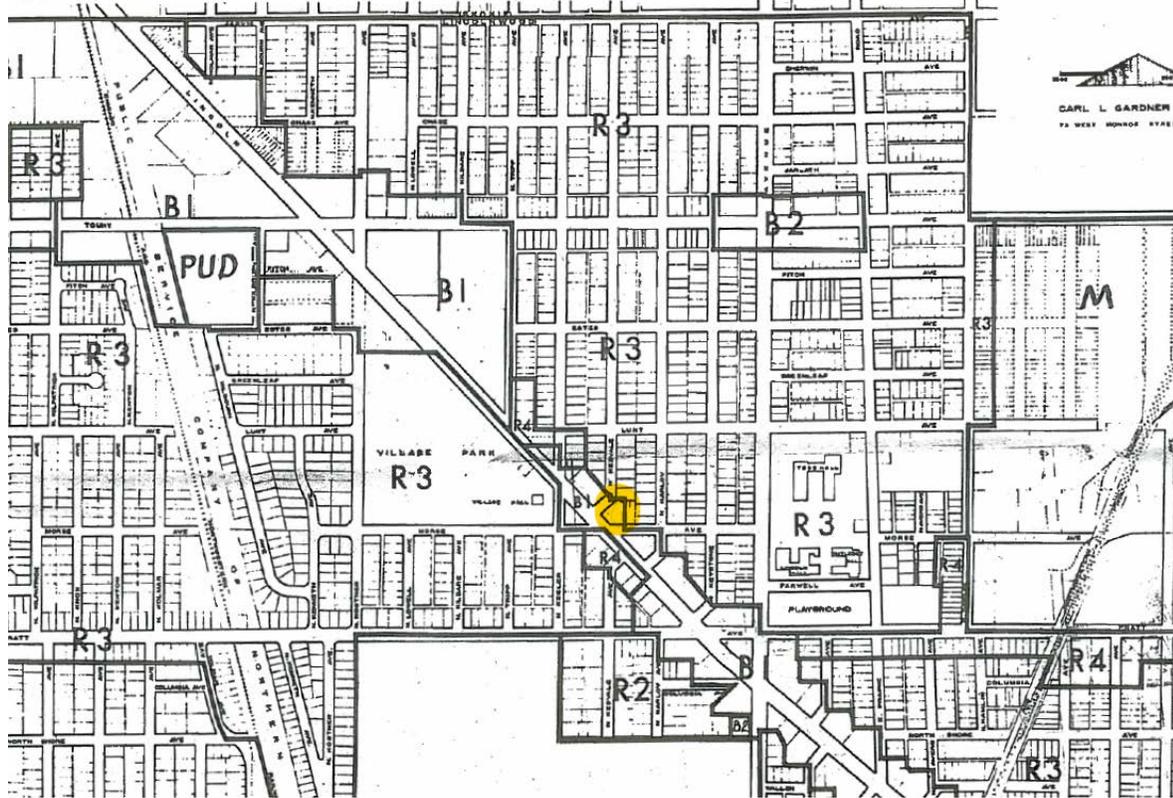
Map created on August 29, 2016.

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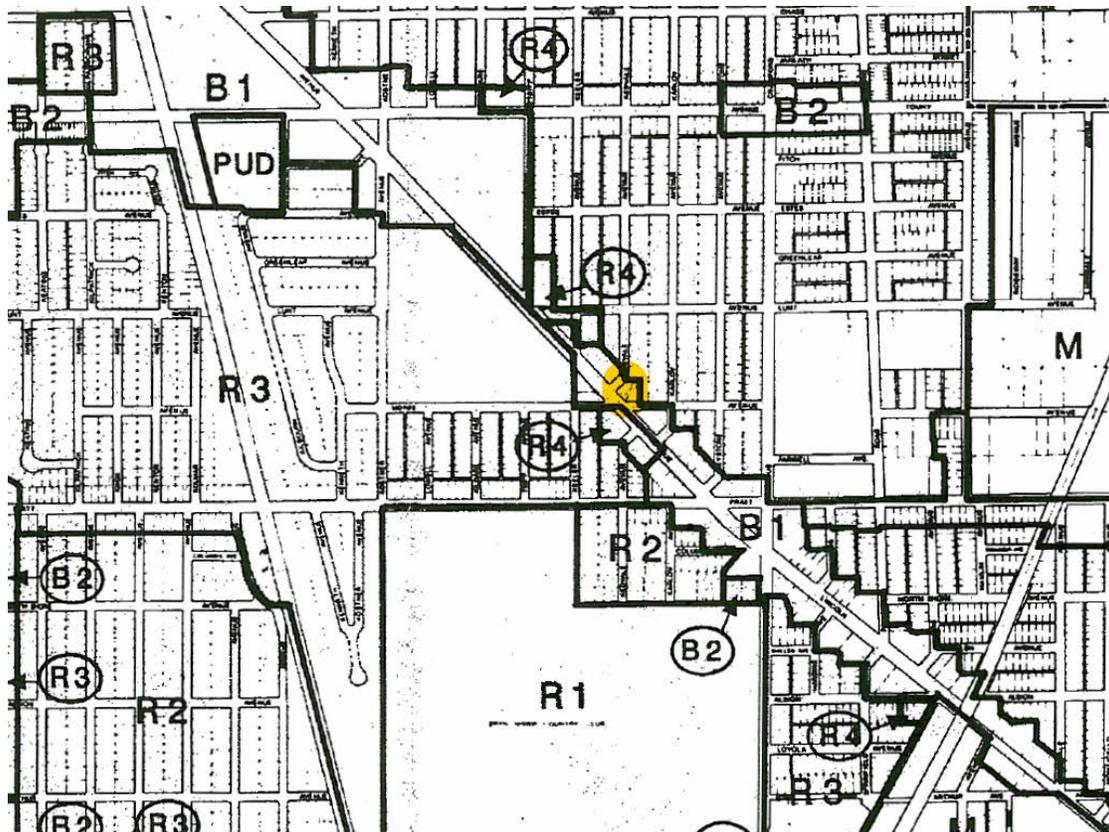
The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law.

Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

ZONING DISTRICT MAP



1962 Zoning Map



1991 Zoning Map



**VILLAGE OF LINCOLNWOOD
PRESIDENT AND BOARD OF TRUSTEES
REGULAR MEETING
VILLAGE HALL COUNCIL CHAMBERS
7:30 P.M., SEPTEMBER 6, 2016**

AGENDA

- I. Call to Order**
- II. Pledge to the Flag**
- III. Roll Call**
- IV. Approval of Minutes**
 - 1. Village Board Minutes – August 16, 2016
- V. Warrant Approval**
- VI. Village President's Report**
- VII. Consent Agenda** (If any one wishes to speak to any matter on the Consent Agenda, a Speaker's Request Form must be completed, presented to the Village Clerk, and the matter will be removed from the Consent Agenda and added to Regular Business.)
 - 1. Approval of a Recommendation by the Plan Commission in Case #PC-14-16 to Adopt an Ordinance Granting Verizon Wireless a Special Use Permit for the Construction of Personal Wireless Service Facilities on an Existing Freestanding Tower at 7017 North Central Park Avenue (Appears on the Consent Agenda Because it was Approved Unanimously by a Recommending Body)
 - 2. Approval of a Recommendation by the Plan Commission in Case #PC-13-16 to Adopt an Ordinance Granting Hatzalah Chicago a Special Use to Operate an Emergency Medical Services Business 24 Hours a Day at 6430 North Hamlin Avenue (Appears on the Consent Agenda Because it was Approved Unanimously by a Recommending Body)
 - 3. Approval of a Resolution Approving a Plat of Vacation and Grant of Easement for the Carrington at Lincolnwood, located at 3401-3501 Northeast Parkway (formerly the Bell & Howell site with an address of 3400 Pratt Avenue) (Appears on the Consent Agenda Because it is a Routine Function of Government)
 - 4. Approval of a Resolution Authorizing the Purchase of One 2017 Ford F-150 Super Cab Vehicle from Wright Automotive Routes 127 & 185 P.O. Box 279, Hillsboro, IL 62049 in the amount of \$25,434.00 (Appears on the Consent Agenda Because it is a Routine Function of Government)
 - 5. Approval of a Resolution Authorizing the Village Manager to Execute the Amendment and Extension of the Agreement with American Traffic Solutions, Inc. for a Police Red Light Camera System (Appears on the Consent Agenda Because it is a Routine Function of Government)

6. Approval of a Resolution to Award a Contract to Patrick McCann, Inc. of Geneva, Illinois for the Replacement of Windows at the Fire Station in the Amount of \$39,162 (Appears on the Consent Agenda Because it is for the Lowest Qualified Bidder)

VIII. Regular Business

7. Consideration of a Recommendation by the Plan Commission in Case #PC-12-16, to Approve a Special Use and Certain Variations of the Zoning Code to Permit a New and Reconfigured Off-Street Parking Area at 6825 North Lincoln

IX. Manager's Report

X. Board, Commission, and Committee Reports

XI. Village Clerk's Report

XII. Trustee Reports

XIII. Public Forum

XIV. Closed Session

A Closed Session is Requested to Discuss Land Acquisition 2(c)(5) and Pending Litigation 2(c)(11)

XV. Adjournment

DATE POSTED: September 2, 2016

All Village Board meetings are broadcast live to residents on Comcast Cable Channel 6, AT&T U-VERSE Channel 99, RCN Channel 49, and online at Lincolnwood.tv at 7:30 p.m. Rebroadcasts of Village Board meetings can be viewed one week following the live broadcast at 1:00 p.m. and 7:30 p.m. on cable television or online at lwdtv.org or on the Lincolnwood Mobile App.

**VILLAGE OF LINCOLNWOOD
PRESIDENT AND BOARD OF TRUSTEES
REGULAR MEETING
VILLAGE HALL COUNCIL CHAMBERS
AUGUST 16, 2016**

DRAFT

Call to Order

President Turry called the Regular Meeting of the Lincolnwood Board of Trustees to order at 7:30 P.M., Tuesday, August 19, 2016, in the Council Chambers of the Municipal Complex, 6900 North Lincoln Avenue, Village of Lincolnwood, County of Cook, and State of Illinois.

Pledge to the Flag

The Corporate Authorities and all persons in attendance recited the Pledge of Allegiance to the flag of our country.

Roll Call

On roll call by Village Clerk Beryl Herman the following were:

PRESENT: President Turry, Trustees Spino, Patel, Klatzco, Elster, Bass

ABSENT: Trustee Cope

A quorum was present. Also present: Timothy Wiberg, Village Manager; Douglas Petroschius, Assistant Village Manager; Charles Meyer, Assistant to the Village Manager; Steven Elrod, Village Attorney; Steve McNellis, Director of Community Development; Aaron Cook, Community Development Manager; Amanda Pazdan, Management Analyst; Charles Greenstein, Village Treasurer.

Approval of Minutes

The minutes of the July 19, 2016 Village Board meeting were distributed and examined in advance. Trustee Spino moved to approve the minutes as presented. The motion was seconded by Trustee Patel.

The motion passed by voice vote.

Warrant Approval

Trustee Klatzco moved to approve warrants in the amount of \$1,270,723.95. The motion was seconded by Trustee Spino.

Upon a Roll Call the results were:

AYES: Trustees Bass, Elster, Klatzco, Patel, Spino

NAYS: None

The motion passed.

Village President's Report

1. Appointment

Trustee Spino moved to appoint Trustee Elster as President pro-tem during the medical absence of President Turry. Trustee Patel seconded.

The motion passed with a Voice Vote.

2. Event

President Turry announced that on Thursday, September 8th from 5PM to 7PM, there will be a celebration of the 25th anniversary of Village Hall.

3. 2016 Lincolnwood Fest Report

Damien Kardaras, Chair of the 2016 Lincolnwood Fest, presented a final report as well as a financial report. Due to weather conditions, the Fest was open for a limited amount of time. Some loss will be covered by insurance.

Mr. Kardaras exhibited photographs of the Fest, showing water damage and flooding.

Mr. Wiberg complimented the Fest Team for a job well done under severe weather conditions.

Mr. Kardaras complimented both the Police and Fire Departments for their assistance.

Mr. Kardaras stated his hope that the Fest will continue next year.

4. Upcoming Meetings

President Turry announced upcoming meetings. These meeting dates may be found on the Village Website.

Consent Agenda

President Turry introduced the Consent Agenda which was presented by PowerPoint as follows:

1. **Approval of an Ordinance Waiving Competitive Bidding and Authorizing the Purchase of Eight L-3 Flashback Upgrade Replacement Kits (in-car video cameras) including DVR, HD Camera, Antenna and Wiring Cables from L3 Mobile Vision, Inc. for \$30,806.49**
2. **Approval of a Recommendation by the Traffic Commission to Amend Chapter Seven, Article Two, Section Twelve of the Village Code Pertaining to Restricting Parking on the East Side of Ridgeway Avenue between the North Curb Line of Lunt Avenue and 65' North; and the West Side of Ridgeway Avenue between the North Curb Line of Lunt Avenue and 65' North and between 216' and 248' North**
3. **Approval of a Recommendation by the Parks and Recreation Board to Adopt a Resolution to Close a Portion of Lincoln Avenue on Sunday, November 20, 2016 between the hours of 7 A.M. to 11 A.M. for the Annual Turkey Trot Race**
4. **Approval of a Recommendation by the Parks and Recreation Board to Adopt an Ordinance Waiving Business License Fee Requirements of the Municipal Code of Lincolnwood for the All Out Sports Marketing Girls Softball Tournament in Proesel Park**
5. **Approval of a Resolution for (1) a Highway Authority Agreement Between the Village and CDENT LLC. Doing Business as CDENT Shell and (2) a Reimbursement and Indemnification Agreement Between the Village and CDENT LLC. Doing Business as CDENT Shell**

6. **Approval of a Resolution Authorizing the Execution of a Contract with Utility Dynamics Corporation of Oswego, Illinois for the Public Works Facility – Water Pumping Facility Inter-Building Fiber Optic Project in the Amount of \$107,816**
7. **Approval of a Resolution to Amend and Extend the Local Agency Agreement Initiated by the Illinois Department of Transportation, Governing the Illinois Transportation Enhancement Program Grant Funding, Pertaining to Lining and Signing of On-Street Bike Lanes and Pedestrian Crosswalk Buttons within the Village**
8. **Approval of a Resolution to Authorize the Execution of a Temporary Easement Agreement with Sacred Learning NFP, Owner of 3900 W. Devon Avenue**

Trustee Bass moved to approve the Consent Agenda as presented. The motion was seconded by Trustee Elster.

Upon Roll Call the Results were:

AYES: Trustees Bass, Elster, Klatzco, Patel, Spino

NAYS: None

The motion passed

Regular Business

9. **Consideration of an Ordinance in Case #PC-09-16 for Text Amendments to the B-3, Village Center Planned Development (PD) District, Related to Fast-Food Restaurants with Drive-Through Facilities, and Additional Use Standards for Business and Office Districts related to all Drive-Through Facilities**

This item was presented by Mr. McNellis who presented background information.

The end result of the Plan Commission meetings was that all drive-thrus would require Special Use. Attorney Elrod was directed to prepare the Ordinance.

Economic Development Commission member Myles Berman submitted a letter in favor of drive-thrus.

The following addressed the Board... all were in favor:

James Persino, Economic Development Chair, Paul Levine, EDC Member and Patrick Kaniff, EDC Member.

Trustee Patel moved to adopt the Ordinance, Trustee Spino seconded the motion.

Attorney Elrod stated that this action does not involve Culvers. If an application is submitted it will need to go through the proper procedure.

Trustee Elster stated that if this goes through, it will open up problems.

Trustee Patel stated that changes have taken place in recent years – growth has taken pace in our community.

Upon Roll Call the Results were:

AYES: Trustees Patel, Spino, Klatzco, President Turry

NAYS: Trustees Bass, Elster

The motion passed

10. Consideration of a Recommendation by the Plan Commission in Case #PC-08-16 to Approve an Amendment to Section 3.13 of the Zoning Code to Revise Fence Regulations for Residential Properties Abutting Public Recreation Paths and/or Commonwealth Edison Utility Rights-of-Way

This item was presented by Mr. Cook.

Background

- *Construction of the Valley Line Trail underway, with completion anticipated by September 15th.
- *Construction of Union Pacific Railroad Recreation Path also underway
- *Public recreation paths adjacent to residential areas where no public access previously allowed
- *Clearing of existing trees and bushes in each corridor resulting in greater visibility from residential areas into public paths
- *Result in expressed desire for greater privacy

Hearing Process

- *May 3, 2016 – Village Board Refers Matter to Plan Commission
- *July 6, 2016 – Plan Commission concludes deliberation. Makes recommendation to Village Board

Plan Commission Deliberation

- *Received staff recommendation
 - Increase permitted fence height to 8 feet
 - Permit solid fence of all currently permitted fence material types
- *Commission generally concurred with intent of staff recommended text
- *Several property owners adjacent to Valley Line Trail addressed the Commission
 - Agreed with need to permit solid fence
 - Recommended differing maximum fence heights between 8 and 10 feet as well as a suggested height ratio

Commission Recommendation

By 5-2 Vote Commission Recommends Zoning Code Text Amendment for Residential Fences

*Residential properties along rear and side lot lines abutting Public Recreation Paths and Commonwealth Edison Right-of-Way

- Maximum 10 feet in height;
- Solid Fence; and
- All currently permitted fence materials

Resident Dr. David Weiss addressed the Board indicating his need for a fence higher than that which was originally planned. The changes would apply to him.

Some discussion ensued with the recommendation that Board members need to walk the path and see the actual situation. Some members stated that they had seen the actual path

Trustee Patel moved to continue this item to the Village Board meeting of September 20, 2016, Trustee Klatzco seconded the motion.

The motion passed with a Voice Vote.

11. Consideration of a Resolution Approving a Recommendation from the Park and Recreation Board Concerning the Phase II Design for the Touhy Pedestrian/Bicycle Overpass Bridge

This item was presented by Mrs. Engelmann.

There were 5 public meetings held.

In 2015 the Board approved this bridge.

In March 2016 a Notice to Proceed received unanimous vote of support from Park and Recreation Board.

Representatives from Stanley Consultants addressed the Board.

Status of Architectural Elements

Selected elements were identified as were elements seeking approval.

Photographs of signage, both day and night were exhibited as was bridge column lighting.

Colored lights and concrete forms were presented as were approaches, site plans, screenings and landscape renderings.

Recommended Architectural Elements

*Parks & Recreation Board Preferred Elements

- 24” Village of Lincolnwood Sign Identifier on Bridge
- Lincolnwood Tree Logo to be displayed on the MSE wall
- Darker/Brick color with textured formliner’
- White LRD light for backlighting the sign and uplighting columns
- Gateway landscape design desired

Next Steps

*Develop Contract Documents

- August 2016-May2017

*Construction Letting

- August 2017

*Construction

- Fall 2017 – Spring 2018

Possible railings and mesh were exhibited

Some discussion and questions ensued.

Trustee Patel moved to approve a Resolution, Trustee Bass seconded the motion.

Upon Roll Call the Results were:

AYES: Trustees Patel, Bass, Klatzco, Spino, Elster

NAYS: None

The motion passed

Manager's Report

Mr. Wiberg announced the 9-11 Ceremony on Monday, September 12, 2016 in front of the flags at 8:30 A.M.

Board and Commissions Report

None

Village Clerk's Report

Any citizens wishing to vote in the November election must be registered to vote by the first week in October. There are other options for registration which may be obtained at the website of the Cook County Clerk. Voter registration will take place at Lincolnwood Place from 11 A.M. to 4 P.M. on Monday September 26. Anyone wishing to receive an Absentee Ballot request form may call the office of the Lincolnwood Village Clerk.

Trustees Reports

None

Public Forum

Residents Elena Duarte and Dr. Avi Verua addressed the Board protesting the planned gun range on Devon Avenue.

Attorney Elrod responded.

Adjournment to Closed Session

At 9:20 P.M., Trustee Patel moved to adjourn the Village Board Meeting to Closed Session for purpose of discussion of Land Acquisition Section 2(c)(5) and Land Sale 2 (c) (6).

The motion was seconded by Trustee Bass.

Upon Roll Call the Results were

AYES: Trustees Patel, Bass, Spino, Elster, Klatzco

NAYS: None

The motion passed

Reconvention

At 10:16 P.M. President Turry reconvened the Village Board meeting.

Adjournment

At 10:17 P.M. Trustee Spino moved to adjourn, seconded by Trustee Elster.

The motion passed with a Voice Vote

Respectfully Submitted,

Beryl Herman
Village Clerk

TO: President and the Board of Trustees

FROM: Timothy C. Wiberg, Village Manager

SUBJECT: Warrant Approval

DATE: September 2, 2016

The following are the totals for the List of Bills being presented at the September 6th Village Board meeting.

9/6/2016	470,620.02
9/6/2016	170,698.09
9/6/2016	133,918.75
9/6/2016	66,608.91
9/6/2016	34,466.42
9/6/2016	29,968.83
Total	<hr/> \$ 906,281.02

Accounts Payable

To Be Paid Proof List

User: jmazzeffi
 Printed: 08/23/2016 - 9:25AM
 Batch: 00100.09.2016



Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number	Description			
American Express				
AMEREXP				
31083081616	8/16/2016	26.98	0.00	09/06/2016
101-350-512-5799	Other materials & supplies			
31083081616	8/16/2016	49.99	0.00	09/06/2016
101-350-512-5770	Training supplies			
		76.97		
31083081616 Total:				
31158071116	7/11/2016	45.00	0.00	09/06/2016
101-200-511-5510	Advertising			
		45.00		
31158071116 Total:				
31158071316	7/13/2016	46.13	0.00	09/06/2016
101-200-511-5799	Other materials & supplies			
		46.13		
31158071316 Total:				
31158071416	7/14/2016	-2.31	0.00	09/06/2016
101-200-511-5799	Other materials & supplies			
31158071416	7/14/2016	38.92	0.00	09/06/2016
101-200-511-5799	Other materials & supplies			
31158071416	7/14/2016	147.85	0.00	09/06/2016
660-610-519-5580	Telephone			
31158071416	7/14/2016	104.85	0.00	09/06/2016
660-610-519-5580	Telephone			
31158071416	7/14/2016	254.85	0.00	09/06/2016
101-250-511-5580	Telephone			
31158071416	7/14/2016	202.96	0.00	09/06/2016
101-250-511-5340	Maintenance Agreement Expen			
				Doodle

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
	31158071416 Total:	747.12			
31158071516	7/15/2016	-1.95	0.00	09/06/2016	
101-200-511-5799	Other materials & supplies				Fed Ex cash back
	31158071516 Total:	-1.95			
31158072616	7/26/2016	45.00	0.00	09/06/2016	
101-200-511-5510	Advertising				Job Posting
	31158072616 Total:	45.00			
31158072916	7/29/2016	650.00	0.00	09/06/2016	
101-200-511-5510	Advertising				Membership - ICSC
	31158072916 Total:	650.00			
31158073116	7/31/2016	2.43	0.00	09/06/2016	
101-200-511-5510	Advertising				Facebook Boost post
	31158073116 Total:	2.43			
31158080216	8/2/2016	81.56	0.00	09/06/2016	
101-200-511-5799	Other materials & supplies				Employee Appreciation
	31158080216 Total:	81.56			
31158080416	8/4/2016	198.53	0.00	09/06/2016	
101-200-511-5799	Other materials & supplies				Employee Appreciation supplies
31158080416	8/4/2016	99.20	0.00	09/06/2016	
101-200-511-5799	Other materials & supplies				Employee Appreciation supplies
31158080416	8/4/2016	931.00	0.00	09/06/2016	
101-200-511-5799	Other materials & supplies				Employee Appreciation supplies
	31158080416 Total:	1,228.73			
31158081116	8/11/2016	965.03	0.00	09/06/2016	
101-250-511-5340	Maintenance Agreement Expen				Logmein.com licenses
	31158081116 Total:	965.03			
31190071116	7/11/2016	438.00	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
205-530-515-5270 Purchased program services					Brookfield Zoo - Camp trip
31190071116	7/11/2016	4,190.90	0.00	09/06/2016	
205-562-515-5730 Program supplies					Swim team uniforms
31190071116	7/11/2016	41.70	0.00	09/06/2016	
205-560-515-5730 Program supplies					Amazon - Pool supplies
31190071116	7/11/2016	36.10	0.00	09/06/2016	
205-560-515-5730 Program supplies					Amazon - Trash bags
31190071116	7/11/2016	10.53	0.00	09/06/2016	
205-560-515-5405 R&M - buildings					Amazon - Safety signs
31190071116	7/14/2016	302.00	0.00	09/06/2016	
205-570-515-5270 Purchased program services					Chicago Trolley - Senior Trip
31190071116	7/14/2016	72.99	0.00	09/06/2016	
205-530-515-5730 Program supplies					Amazon - Program supplies
31190071116	7/14/2016	7.98	0.00	09/06/2016	
205-560-515-5690 Merchandise for resale					Amazon - Pool merchandise
31190071116	7/14/2016	385.00	0.00	09/06/2016	
205-530-515-5645 Concessions & food					Little Caesars - Camp pizza day
31190071116	7/14/2016	63.12	0.00	09/06/2016	
205-530-515-5730 Program supplies					Amazon - Camp supplies
	31190071116 Total:	5,548.32			
31190071216	7/12/2016	1,124.00	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Medieval Times - camp trip
31190071216	7/12/2016	58.00	0.00	09/06/2016	
205-560-515-5590 Training					American National Red Cross
31190071216	7/12/2016	1,022.50	0.00	09/06/2016	
205-530-515-5645 Concessions & food					Little Caesars - Camp pizza day
31190071216	7/12/2016	359.88	0.00	09/06/2016	
205-504-515-5730 Program supplies					SS Worldwide - Family Fun Fest
	31190071216 Total:	2,564.38			
31190071316	7/13/2016	144.37	0.00	09/06/2016	
205-530-515-5645 Concessions & food					Sam's Club - Camp family picnic
31190071316	7/13/2016	392.62	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Enchanted Castle - camp trip
31190071316	7/13/2016	752.50	0.00	09/06/2016	
205-530-515-5645 Concessions & food					Little Caesar's - Family picnic

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
31190071316 Total:		1,289.49			
31190071416	7/14/2016	35.42	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730					Program supplies
31190071416	7/14/2016	210.00	0.00	09/06/2016	Whilyball - camp trip
205-530-515-5270					Purchased program services
31190071416 Total:		245.42			
31190071516	7/15/2016	41.70	0.00	09/06/2016	SS Worldwide - camp supplies
205-530-515-5730					Program supplies
31190071516	7/15/2016	33.47	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730					Program supplies
31190071516	7/15/2016	4.99	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730					Program supplies
31190071516	7/15/2016	100.41	0.00	09/06/2016	Amazon - pop up tent
205-504-515-5730					Program supplies
31190071516 Total:		180.57			
31190071616	7/16/2016	14.74	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730					Program supplies
31190071616 Total:		14.74			
31190071716	7/17/2016	42.12	0.00	09/06/2016	Amazon - safety signs
205-560-515-5405					R&M - buildings
31190071716	7/17/2016	7.98	0.00	09/06/2016	Amazon - pool merchandise
205-560-515-5690					Merchandise for resale
31190071716 Total:		50.10			
31190071816	7/18/2016	246.33	0.00	09/06/2016	Walmart - camp supplies
205-530-515-5730					Program supplies
31190071816	7/18/2016	100.41	0.00	09/06/2016	Amazon - pop up tent
205-504-515-5730					Program supplies
31190071816	7/18/2016	156.25	0.00	09/06/2016	M & M Limo - Senior Trip
205-570-515-5270					Purchased program services
31190071816	7/18/2016	156.25	0.00	09/06/2016	M & M Limo - Senior Trip
205-570-515-5270					Purchased program services

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
31190071816 Total:		659.24			
31190071916	7/19/2016	326.80	0.00	09/06/2016	Fandango - camp trip
205-530-515-5270	Purchased program services				
31190071916	7/19/2016	46.00	0.00	09/06/2016	Dollar Tree - camp supplies
205-530-515-5730	Program supplies				
31190071916 Total:		372.80			
31190072016	7/20/2016	753.37	0.00	09/06/2016	Enchanted Castle - camp trip
205-530-515-5270	Purchased program services				
31190072016	7/20/2016	40.23	0.00	09/06/2016	Drury Lane - Senior trip
205-570-515-5645	Concessions & food				
31190072016	7/20/2016	74.23	0.00	09/06/2016	Little Caesars - camp pizza day
205-530-515-5645	Concessions & food				
31190072016	7/20/2016	478.88	0.00	09/06/2016	Cinemark - camp field trip
205-530-515-5270	Purchased program services				
31190072016 Total:		1,346.71			
31190072116	7/21/2016	171.56	0.00	09/06/2016	Walmart - program supplies
205-530-515-5730	Program supplies				
31190072116	7/21/2016	12.96	0.00	09/06/2016	Walmart - staff training
205-530-515-5590	Training				
31190072116	7/21/2016	44.77	0.00	09/06/2016	Amazon - Lanyard
205-530-515-5730	Program supplies				
31190072116	7/21/2016	119.01	0.00	09/06/2016	Jimmy Johns - staff training
205-530-515-5590	Training				
31190072116	7/21/2016	396.00	0.00	09/06/2016	Sky High Sports - camp trip
205-530-515-5270	Purchased program services				
31190072116 Total:		744.30			
31190072216	7/22/2016	17.26	0.00	09/06/2016	Amazon - P & R office supplies
205-500-515-5700	Office supplies				
31190072216	7/22/2016	43.14	0.00	09/06/2016	Amazon - Concession supplies
205-563-515-5649	Supplies				
31190072216	7/22/2016	7.92	0.00	09/06/2016	Kohls - Camper clothing replacement
205-530-515-5730	Program supplies				

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
31190072216 Total:		68.32			
31190072316	7/23/2016	18.48	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730 Program supplies					
31190072316 Total:		18.48			
31190072516	7/25/2016	414.00	0.00	09/06/2016	Brookfield Zoo - camp trip
205-530-515-5270 Purchased program services					
31190072516 Total:		414.00			
31190072616	7/26/2016	443.05	0.00	09/06/2016	Pump It Up - Camp trip
205-530-515-5720 Postage					
31190072616	7/26/2016	360.00	0.00	09/06/2016	Light Opera Works - Senior Trip
205-570-515-5270 Purchased program services					
31190072616	7/26/2016	171.00	0.00	09/06/2016	Elk Grove Park District
205-530-515-5270 Purchased program services					
31190072616 Total:		974.05			
31190072716	7/27/2016	13.64	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730 Program supplies					
31190072716	7/27/2016	23.13	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730 Program supplies					
31190072716	7/27/2016	29.90	0.00	09/06/2016	Mariano's - supervisor breakfast
205-530-515-5590 Training					
31190072716 Total:		66.67			
31190072816	7/28/2016	76.01	0.00	09/06/2016	Walmart - camp supplies
205-530-515-5730 Program supplies					
31190072816	7/28/2016	162.30	0.00	09/06/2016	Walmart - camp supplies
205-530-515-5645 Concessions & food					
31190072816	7/28/2016	434.50	0.00	09/06/2016	All Seasons - Swim team shirts
205-562-515-5730 Program supplies					
31190072816	7/28/2016	372.50	0.00	09/06/2016	Putting Edge - camp trip
205-530-515-5270 Purchased program services					
31190072816	7/28/2016	21.22	0.00	09/06/2016	Walmart - office supplies
205-530-515-5730 Program supplies					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
31190072816	7/28/2016	51.35	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730 Program supplies					
31190072816 Total:		1,117.88			
31190072916	7/29/2016	293.37	0.00	09/06/2016	Enchanted Castle - camp trip
205-530-515-5270 Purchased program services					
31190072916	7/29/2016	614.25	0.00	09/06/2016	Museum camp trip
205-530-515-5270 Purchased program services					
31190072916	7/29/2016	325.00	0.00	09/06/2016	Little Caesars - camp pizza day
205-530-515-5645 Concessions & food					
31190072916	7/29/2016	477.00	0.00	09/06/2016	Elk Grove - camp field trip
205-530-515-5270 Purchased program services					
31190072916 Total:		1,709.62			
31190080116	8/1/2016	3.96	0.00	09/06/2016	Walmart - Office supplies
205-571-515-5730 Program supplies					
31190080116	8/1/2016	118.00	0.00	09/06/2016	City of Evanston - Camp trip
205-530-515-5270 Purchased program services					
31190080116 Total:		121.96			
31190080216	8/2/2016	17.99	0.00	09/06/2016	Michaels - office supplies
205-500-515-5700 Office supplies					
31190080216 Total:		17.99			
31190080316	8/3/2016	137.25	0.00	09/06/2016	Plug n Play - Rec Trac
205-500-515-5725 Credit card charges					
31190080316	8/3/2016	31.62	0.00	09/06/2016	Walmart - camp supplies
205-530-515-5730 Program supplies					
31190080316	8/3/2016	103.50	0.00	09/06/2016	Amazon - speaker cords
205-571-515-5535 Facility rental					
31190080316	8/3/2016	6.49	0.00	09/06/2016	Jewel - Campin Wood
205-530-515-5730 Program supplies					
31190080316	8/3/2016	62.50	0.00	09/06/2016	Little Caesars - pizza day
205-530-515-5645 Concessions & food					
31190080316	8/3/2016	404.55	0.00	09/06/2016	Adventure Realm - camp trip
205-530-515-5270 Purchased program services					
31190080316	8/3/2016	12.31	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
205-530-515-5590 Training					Einstein Bros - Supervisor breakfast
31190080316	8/3/2016	245.00	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Jumpzone - camp trip
31190080316 Total:		1,003.22			
31190080416	8/4/2016	72.50	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Little Caesars - camp pizza day
31190080416	8/4/2016	308.75	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Twin Lakes - camp trip
31190080416 Total:		381.25			
31190080516	8/5/2016	358.02	0.00	09/06/2016	
205-530-515-5590 Training					Jimmy Johns - staff lunch
31190080516	8/5/2016	234.90	0.00	09/06/2016	
205-502-515-5730 Program supplies					S & S Worldwide - After school supplies
31190080516 Total:		592.92			
31190080716	8/7/2016	4.99	0.00	09/06/2016	
205-504-515-5730 Program supplies					Amazon - special events
31190080716	8/7/2016	17.59	0.00	09/06/2016	
205-500-515-5700 Office supplies					Amazon - office supplies
31190080716	8/7/2016	12.50	0.00	09/06/2016	
205-560-515-5700 Office supplies					Amazon - pool office
31190080716	8/7/2016	15.95	0.00	09/06/2016	
205-563-515-5649 Supplies					Amazon - concessions
31190080716 Total:		51.03			
31190080816	8/8/2016	266.60	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Brunswick Zone - camp trip
31190080816	8/8/2016	480.00	0.00	09/06/2016	
205-570-515-5270 Purchased program services					Lyric Opera - Senior trip
31190080816	8/8/2016	582.37	0.00	09/06/2016	
205-570-515-5270 Purchased program services					Lake Geneva - Senior trip
31190080816	8/8/2016	129.33	0.00	09/06/2016	
205-504-515-5730 Program supplies					Fun Express - Touch a Truck

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
31190080816 Total:		1,458.30			
31190080916	8/9/2016	542.12	0.00	09/06/2016	Enchanted Castle - camp trip
205-530-515-5270 Purchased program services					
31190080916	8/9/2016	17.99	0.00	09/06/2016	Michaels - office supply
205-500-515-5700 Office supplies					
31190080916 Total:		560.11			
31190081016	8/10/2016	71.05	0.00	09/06/2016	Walmart - camp supplies
205-530-515-5270 Purchased program services					
31190081016	8/10/2016	23.94	0.00	09/06/2016	Walmart - office supplies
205-571-515-5535 Facility rental					
31190081016	8/10/2016	12.95	0.00	09/06/2016	Amazon - program supplies
205-530-515-5730 Program supplies					
31190081016	8/10/2016	155.43	0.00	09/06/2016	Guitar Center - microphone replacement
205-571-515-5535 Facility rental					
31190081016 Total:		263.37			
31190081116	8/11/2016	14.10	0.00	09/06/2016	Amazon - camp supplies
205-530-515-5730 Program supplies					
31190081116	8/11/2016	-4.81	0.00	09/06/2016	Tax credit
205-562-515-5730 Program supplies					
31190081116 Total:		9.29			
31208081016	8/10/2016	15.00	0.00	09/06/2016	Parking - Hyatt O'Hare
101-240-517-5820 Local mileage, parking & tolls					
31208081016 Total:		15.00			
32008071416	7/14/2016	655.00	0.00	09/06/2016	ICMA Conference registration
101-200-511-5810 Conference & meeting registrat					
32008071416 Total:		655.00			
32008080916	8/9/2016	241.20	0.00	09/06/2016	ICMA Conference airfare
101-200-511-5850 Purchased transportation					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
32008080916 Total:		241.20			
32115071516	7/15/2016	87.02	0.00	09/06/2016	Lunch - Meeting
101-100-511-5840 Meals					
32115071516 Total:		87.02			
32115072516	7/25/2016	32.28	0.00	09/06/2016	Lunch - Mayor
101-100-511-5840 Meals					
32115072516 Total:		32.28			
American Express Total:		26,761.05			
Bank of America, Business Card					
BANKOFAM					
0423080816	8/8/2016	329.50	0.00	09/06/2016	Tri-Tech Forensics program supplies
101-300-512-5730 Program supplies					
0423080816	8/8/2016	329.84	0.00	09/06/2016	Shoplet.com - office supplies
101-300-512-5700 Office supplies					
0423080816	8/8/2016	167.99	0.00	09/06/2016	Lodging/Holiday Inn
101-300-512-5830 Lodging					
0423080816	8/8/2016	32.75	0.00	09/06/2016	Donuts for Crime Scene class
101-300-512-5730 Program supplies					
0423080816	8/8/2016	60.77	0.00	09/06/2016	Office supplies
101-300-512-5640 Computer supplies					
0423080816	8/8/2016	-18.00	0.00	09/06/2016	Lodging credit
101-300-512-5830 Lodging					
0423080816 Total:		902.85			
1582071216	7/12/2016	58.00	0.00	09/06/2016	ARC Services - Online program
205-560-515-5590 Training					
1582071216 Total:		58.00			
1582071516	7/15/2016	139.89	0.00	09/06/2016	Party City - Theme Night supplies
205-560-515-5730 Program supplies					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
1582071516 Total:		139.89			
6205070716	7/7/2016	665.00	0.00	09/06/2016	SPACE - Program services
205-530-515-5270 Purchased program services					
6205070716 Total:		665.00			
6205071116	7/11/2016	43.50	0.00	09/06/2016	Walmart - program supplies
205-530-515-5730 Program supplies					
6205071116	7/11/2016	9.76	0.00	09/06/2016	Walmart - facility rental
205-571-515-5535 Facility rental					
6205071116	7/11/2016	49.14	0.00	09/06/2016	Walmart - program supplies
205-530-515-5730 Program supplies					
6205071116 Total:		102.40			
6205071216	7/12/2016	652.00	0.00	09/06/2016	Sunshine Arts & Crafts - entertainer
205-530-515-5270 Purchased program services					
6205071216 Total:		652.00			
6205080416	8/4/2016	7.98	0.00	09/06/2016	Walmart - program supplies
205-530-515-5730 Program supplies					
6205080416	8/4/2016	9.00	0.00	09/06/2016	Redbox - Movie
205-530-515-5730 Program supplies					
6205080416 Total:		16.98			
7130071116	7/11/2016	53.90	0.00	09/06/2016	American Assn of Notaries
101-400-511-5590 Training					
7130071116 Total:		53.90			
7130071216	7/12/2016	16.29	0.00	09/06/2016	Refreshments - Public Works
101-400-511-5730 Program supplies					
7130071216	7/12/2016	268.30	0.00	09/06/2016	Lunch - Public Works
101-400-511-5730 Program supplies					
7130071216 Total:		284.59			
7130071916	7/19/2016	8.74	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
101-100-511-5840 Meals					Refreshments - Board meeting
7130071916	7/19/2016	6.99	0.00	09/06/2016	
101-100-511-5840 Meals					Refreshments - Board meeting
7130071916	7/19/2016	22.00	0.00	09/06/2016	
101-100-511-5840 Meals					Refreshments - Board meeting
	7130071916 Total:	37.73			
7130072216	7/22/2016	160.00	0.00	09/06/2016	
101-410-511-5590 Training					Training
7130072216	7/22/2016	160.00	0.00	09/06/2016	
101-410-511-5590 Training					Training
	7130072216 Total:	320.00			
7868070716	7/7/2016	150.00	0.00	09/06/2016	
205-560-515-5270 Purchased program services					Barefoot Hawaiian - pool night
	7868070716 Total:	150.00			
7868071216	7/12/2016	50.00	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Sunshine Arts & Crafts - Deposit
	7868071216 Total:	50.00			
7868072016	7/20/2016	67.74	0.00	09/06/2016	
205-562-515-5645 Concessions & food					Mariano's - Swim meet
	7868072016 Total:	67.74			
7868080316	8/3/2016	14.97	0.00	09/06/2016	
205-504-515-5645 Concessions & food					Gordon Food Service - Movie night
	7868080316 Total:	14.97			
7868080416	8/4/2016	51.99	0.00	09/06/2016	
205-504-515-5730 Program supplies					Guitar Center - Speaker cord
	7868080416 Total:	51.99			
8334071516	7/15/2016	732.00	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Sunshine Arts - camp trip

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	8334071516 Total:	732.00			
8334072216	7/22/2016	334.00	0.00	09/06/2016	
205-530-515-5270	Purchased program services				Bensenville Park District - camp trip
	8334072216 Total:	334.00			
	Bank of America, Business	4,634.04			
City of Chicago Dept of Water					
CTYOFCHI					
430882-430882	8/5/2016	95,171.24	0.00	09/06/2016	
660-620-519-5790	Water purchases				Water - 6/14-7/13
	430882-430882 Total:	95,171.24			
430883-430883	8/5/2016	109,830.52	0.00	09/06/2016	
660-620-519-5790	Water purchases				Water - 6/14-7/13
	430883-430883 Total:	109,830.52			
	City of Chicago Dept of W	205,001.76			
Illinois Department of Revenue					
ILDEPREV					
July 2016	8/16/2016	2,696.00	0.00	09/06/2016	
205-563-410-4486	Entrees				Sales tax for concession - July 2016
	July 2016 Total:	2,696.00			
	Illinois Department of Rev	2,696.00			
Lowe's Business Acc/GECE					
LOWES					
02251	8/11/2016	101.55	0.00	09/06/2016	
205-571-515-5535	Facility rental				Gutter supplies for Community Center

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
	02251 Total:	101.55			
02258	8/11/2016	4.50	0.00	09/06/2016	Gutter supplies for Community Center
205-571-515-5535	Facility rental				
	02258 Total:	4.50			
07594	8/13/2016	11.68	0.00	09/06/2016	Oxiclean
101-350-512-5799	Other materials & supplies				
	07594 Total:	11.68			
08188	8/10/2016	47.48	0.00	09/06/2016	Shop vac
101-350-512-5799	Other materials & supplies				
	08188 Total:	47.48			
08256	8/4/2016	16.12	0.00	09/06/2016	Extension cord
101-350-512-5799	Other materials & supplies				
	08256 Total:	16.12			
17066	8/3/2016	-0.03	0.00	09/06/2016	Tax correction
205-430-515-5730	Program supplies				
	17066 Total:	-0.03			
20596	8/9/2016	53.08	0.00	09/06/2016	Ortho weed remover for Streets
101-440-513-5730	Program supplies				
	20596 Total:	53.08			
2155	8/10/2016	98.66	0.00	09/06/2016	Fence post repair supplies
205-560-515-5405	R&M - buildings				
	2155 Total:	98.66			
2262	8/11/2016	48.48	0.00	09/06/2016	Utility knife for Buildings
101-420-511-5730	Program supplies				
	2262 Total:	48.48			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
2303	8/11/2016	17.96	0.00	09/06/2016	
205-430-515-5730					Program supplies
					Wire brush set, padlock for Parks
2303 Total:		17.96			
2497	8/3/2016	0.37	0.00	09/06/2016	
205-430-515-5730					Program supplies
					Bolt for Parks
2497 Total:		0.37			
2720	8/5/2016	36.26	0.00	09/06/2016	
101-440-513-5730					Program supplies
					Bungee cord and Tarp for fence
2720 Total:		36.26			
2940	8/8/2016	9.25	0.00	09/06/2016	
101-420-511-5730					Program supplies
					Brackets for fans
2940 Total:		9.25			
51659	8/10/2016	-16.12	0.00	09/06/2016	
101-350-512-5799					Other materials & supplies
					Return
51659 Total:		-16.12			
8268	8/4/2016	49.63	0.00	09/06/2016	
101-440-513-5730					Program supplies
					Paint and brushes for Hamlin Fence
8268 Total:		49.63			
					Lowe's Business Acc/GEC
		478.87			
Paramedic Services of Illinois PARAMEDI					
4768	5/1/2016	231,048.30	0.00	09/06/2016	
101-350-512-5220					Fire protection
					Services rendered month ended 5/31/2016
4768 Total:		231,048.30			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description

	Paramedic Services of Illin	<u>231,048.30</u>		
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	Report Total:	<u><u>470,620.02</u></u>		
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Accounts Payable

To Be Paid Proof List

User: jmazzeffi
Printed: 08/25/2016 - 9:21AM
Batch: 00101.09.2016



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
Active Electrical Supply Co. Inc. & Fox Lighting					
ACTIVELE					
10486193-00	8/2/2016	438.29	0.00	09/06/2016	
101-440-513-5290					Street lights & traffic signal
					Reel and boots for Street lights
		<hr/>			
		10486193-00 Total:			438.29
		<hr/>			
		Active Electrical Supply C			438.29
Air One Equipment					
AIRONE					
115070	8/9/2016	27.52	0.00	09/06/2016	
101-350-512-5430					R&M - Fire & EMS equipmen
					SCBA repair
		<hr/>			
		115070 Total:			27.52
		<hr/>			
		Air One Equipment Total:			27.52
Airgas USA LLC					
AIRGAS					
9937858188	8/30/2016	224.55	0.00	09/06/2016	
101-350-512-5660					EMS supplies
					Oxygen cylinders for ambulances
		<hr/>			
		9937858188 Total:			224.55
		<hr/>			
		Airgas USA LLC Total:			224.55

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Alltown Bus Service					
ALLTOWN					
512032	7/31/2016	7,041.90	0.00	09/06/2016	
205-530-515-5721	Transportation				July Camp daily transportation
512032	7/31/2016	7,321.67	0.00	09/06/2016	
205-530-515-5721	Transportation				July Camp charter transportation
512032	7/31/2016	756.46	0.00	09/06/2016	
205-562-515-5270	Purchased program services				Swim team charter transportation
	512032 Total:	15,120.03			
	Alltown Bus Service Total:	15,120.03			
American First Aid Services					
AFAS INC					
40208	8/11/2016	26.65	0.00	09/06/2016	
101-400-511-5730	Program supplies				First aid kit supplies
	40208 Total:	26.65			
40213	8/11/2016	22.45	0.00	09/06/2016	
101-350-512-5660	EMS supplies				First aid kit supplies
40213	8/11/2016	22.45	0.00	09/06/2016	
101-220-512-5799	Other materials & supplies				First aid kit supplies
	40213 Total:	44.90			
	American First Aid Service	71.55			
ARRP Trucking & Hauling Inc					
ARRP					
21005	7/29/2016	3,240.00	0.00	09/06/2016	
217-000-561-6100	Land acquisition & improveme				9 loads of woodchips
21005	7/29/2016	4,369.00	0.00	09/06/2016	
660-620-519-5599	Other contractual				9 loads of woodchips
	21005 Total:	7,609.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
	ARRP Trucking & Hauling	7,609.00		
Atkinson, David ATKINDAV 16-8401	8/2/2016	45.00	0.00	09/06/2016
101-400-511-5210	Animal control			Reimbursement animal control services
	16-8401 Total:	45.00		
	Atkinson, David Total:	45.00		
Atlas Bobcat Inc ATLASB BC7351	8/1/2016	2,066.72	0.00	09/06/2016
660-620-519-5480	R&M - vehicles			Filters for Bob cat
	BC7351 Total:	2,066.72		
	Atlas Bobcat Inc Total:	2,066.72		
Avalon Petroleum AVALON 17395	8/2/2016	427.25	0.00	09/06/2016
101-350-512-5670	Fuel			Fuel usage
17395	8/2/2016	583.30	0.00	09/06/2016
101-440-513-5670	Fuel			Fuel usage
17395	8/2/2016	191.25	0.00	09/06/2016
205-430-515-5670	Fuel			Fuel usage
17395	8/2/2016	472.20	0.00	09/06/2016
660-620-519-5670	Fuel			Fuel usage
	17395 Total:	1,674.00		
456302	8/2/2016	1,246.57	0.00	09/06/2016
101-300-512-5670	Fuel			Fuel usage
456302	8/2/2016	28.81	0.00	09/06/2016

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
101-350-512-5670 Fuel 456302	8/2/2016	29.00	0.00	09/06/2016	Fuel usage
101-410-511-5670 Fuel 456302	8/2/2016	75.43	0.00	09/06/2016	Fuel usage
101-420-511-5670 Fuel 456302	8/2/2016	150.49	0.00	09/06/2016	Fuel usage
101-440-513-5670 Fuel 456302	8/2/2016	300.03	0.00	09/06/2016	Fuel usage
205-430-515-5670 Fuel 456302	8/2/2016	248.67	0.00	09/06/2016	Fuel usage
660-620-519-5670 Fuel					Fuel usage
456302 Total:		2,079.00			
Avalon Petroleum Total:		3,753.00			
Bernardo, Zoraida BERNARDO 080516	8/5/2016	30.00	0.00	09/06/2016	
205-000-210-2430 Parks and Recs Control Deposi					Refund - Community Center rental
080516 Total:		30.00			
Bernardo, Zoraida Total:		30.00			
Builders Asphalt BUILDERS 18531	8/1/2016	468.52	0.00	09/06/2016	
213-000-561-5490 R&M Road Repairs					Recycled surface
18531 Total:		468.52			
18543	8/2/2016	758.68	0.00	09/06/2016	
213-000-561-5490 R&M Road Repairs					Recycled surface
18543 Total:		758.68			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	Builders Asphalt Total:	1,227.20			
Chicago Metropolitan Fire Prevention Co.					
CHGOMETR					
137904	7/31/2016	250.00	0.00	09/06/2016	
	101-420-511-5405 R&M - buildings				Fire sprinkler test
137904	7/31/2016	360.00	0.00	09/06/2016	
	101-420-511-5405 R&M - buildings				Fire sprinkler test
	137904 Total:	610.00			
137905	7/31/2016	360.00	0.00	09/06/2016	
	101-420-511-5405 R&M - buildings				Fire sprinkler test
	137905 Total:	360.00			
	Chicago Metropolitan Fire	970.00			
Clark Baird Smith, LLP					
CLARKBAI					
7565	8/2/2016	322.50	0.00	09/06/2016	
	101-230-511-5399 Other professional services				Legal expenses related to personnel matters
	7565 Total:	322.50			
	Clark Baird Smith, LLP To	322.50			
ClientFirst Consulting Group, LLC					
CLIENTFI					
6664	7/31/2016	4,210.00	0.00	09/06/2016	
	101-250-511-5320 Consulting				IT Support
	6664 Total:	4,210.00			
6665	7/31/2016	2,601.25	0.00	09/06/2016	
	101-250-511-5320 Consulting				IT Management

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
		2,601.25			
6665 Total:					
6666	7/31/2016	361.25	0.00	09/06/2016	Community Development Projects
101-250-511-5320 Consulting					
		361.25			
6666 Total:					
6667	7/31/2016	1,973.75	0.00	09/06/2016	Council Chambers AV System
101-250-511-5320 Consulting					
		1,973.75			
6667 Total:					
6668	7/31/2016	87.50	0.00	09/06/2016	Dispatch CAD
101-250-511-5320 Consulting					
		87.50			
6668 Total:					
6669	7/31/2016	122.50	0.00	09/06/2016	Public Works Projects
101-250-511-5320 Consulting					
		122.50			
6669 Total:					
6670	7/31/2016	1,960.00	0.00	09/06/2016	Pump House Projects
101-250-511-5320 Consulting					
		1,960.00			
6670 Total:					
6671	7/31/2016	230.00	0.00	09/06/2016	Rec Trac Migration
101-250-511-5320 Consulting					
		230.00			
6671 Total:					
6672	7/31/2016	63.75	0.00	09/06/2016	Video Surveillance
101-250-511-5320 Consulting					
		63.75			
6672 Total:					
ClientFirst Consulting Gro		11,610.00			

Communications Direct Inc

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
COMDIR					
SR110205	8/1/2016	15.00	0.00	09/06/2016	
101-350-512-5410 R&M - communications equipm					Shipping for unrepaired radio
	SR110205 Total:	15.00			
SR110206	8/1/2016	75.00	0.00	09/06/2016	
101-350-512-5410 R&M - communications equipm					Intercom repairs to mobile radio
SR110206	8/1/2016	15.00	0.00	09/06/2016	
101-350-512-5410 R&M - communications equipm					Shipping
	SR110206 Total:	90.00			
	Communications Direct Inc	105.00			
Emcor Services Team Mechanical Inc					
EMCOR					
3053212	8/2/2016	907.50	0.00	09/06/2016	
101-420-511-5405 R&M - buildings					Contract maintenance for August 2016
	3053212 Total:	907.50			
3053330	8/9/2016	710.50	0.00	09/06/2016	
101-420-511-5405 R&M - buildings					Services performed at PW AC unit
	3053330 Total:	710.50			
	Emcor Services Team Mec	1,618.00			
Essential Equipment Solutions					
ESSEN					
4625	8/8/2016	4,150.00	0.00	09/06/2016	
101-350-512-5665 Firefighting supplies					Turn out gear
	4625 Total:	4,150.00			
	Essential Equipment Soluti	4,150.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
Fedex FEDEX 804144717221	7/26/2016	34.26	0.00	09/06/2016	
101-210-511-5720 Postage					Shipping - Finance
	804144717221 Total:	34.26			
	Fedex Total:	34.26			
First Advantage Occ Health Svcs FIRSTADV 2524561607	7/31/2016	28.95	0.00	09/06/2016	
101-200-511-5599 Other contractual					Drug test
	2524561607 Total:	28.95			
	First Advantage Occ Health	28.95			
Friedman, Pinchas FRIEDPIN 16-7403	7/13/2016	127.50	0.00	09/06/2016	
101-400-511-5210 Animal control					Reimbursement animal control services
	16-7403 Total:	127.50			
	Friedman, Pinchas Total:	127.50			
Glenview Park District GVIEWP 080316	8/3/2016	155.25	0.00	09/06/2016	
205-530-515-5270 Purchased program services					Field trip
	080316 Total:	155.25			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
		155.25			
Glenview Park District Tot					
Golf Mill Ford					
GOLFMILL					
402232P	8/4/2016	1,100.83	0.00	09/06/2016	
101-350-512-5480 R&M - vehicles					Joint assembly, nut, retainers, dampers
		1,100.83			
402232P Total:					
		1,100.83			
Golf Mill Ford Total:					
Grainger					
GRAINGER					
9188246194	8/5/2016	105.65	0.00	09/06/2016	
101-420-511-5730 Program supplies					Emergency light for PW locker room
		105.65			
9188246194 Total:					
		105.65			
Grainger Total:					
Groot Recycling & Waste Services					
GROOT					
14295577	7/20/2016	1,084.13	0.00	09/06/2016	
101-440-514-5230 Garbage & recycling					22280-001/Public Works
		1,084.13			
14295577 Total:					
		1,084.13			
14298454	7/31/2016	2,011.35	0.00	09/06/2016	
101-440-514-5230 Garbage & recycling					22280-002/Public Works
		2,011.35			
14298454 Total:					
		2,011.35			
14299091	8/1/2016	55,017.88	0.00	09/06/2016	
101-440-514-5230 Garbage & recycling					1229-001/Community pick up
		55,017.88			
14299091 Total:					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
14299092	8/1/2016	700.56	0.00	09/06/2016
101-440-514-5230				Garbage & recycling
				1230-001/School District 74
	14299092 Total:	700.56		
14309415	8/1/2016	3,054.63	0.00	09/06/2016
101-440-514-5230				Garbage & recycling
				1231-001/Multi family pick up
	14309415 Total:	3,054.63		
	Groot Recycling & Waste S	61,868.55		
Hach Company				
HACHC				
10045685	8/2/2016	382.89	0.00	09/06/2016
660-620-519-5635				Chemicals - water system
				DPD Free chlorine 25ML
	10045685 Total:	382.89		
	Hach Company Total:	382.89		
IRMA				
IRMA				
SALES0015376	7/31/2016	2,733.83	0.00	09/06/2016
101-210-511-5260				Liability insurance
				July Deductible
	SALES0015376 Total:	2,733.83		
SALES0015414	7/31/2016	3,144.89	0.00	09/06/2016
101-210-511-5260				Liability insurance
				July Optional Deductible
	SALES0015414 Total:	3,144.89		
	IRMA Total:	5,878.72		

Kleifield, Alfred S.
KLEIFIEL

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
081016	8/10/2016	50.00	0.00	09/06/2016	Refund sticker purchased in error
101-000-410-4201 License - passenger car					
081016 Total:		50.00			
Kleifield, Alfred S. Total:		50.00			
MABAS Divison III					
MABAS					
IL07	7/25/2016	250.00	0.00	09/06/2016	2016 State dues
101-350-512-5540 Intergovernmental fees & dues					
IL07 Total:		250.00			
MABAS Divison III Total:		250.00			
Mad Science					
MADSCIEN					
12219	6/15/2016	750.00	0.00	09/06/2016	DayC - Entertainer
205-571-515-5270 Purchased program services					
12219 Total:		750.00			
Mad Science Total:		750.00			
MES					
MES					
IN1052242	8/3/2016	1,383.24	0.00	09/06/2016	Intake valve, end cap
101-350-512-5665 Firefighting supplies					
IN1052242 Total:		1,383.24			
MES Total:		1,383.24			

Metro Tank and Pump Company

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
METROENV					
13642	8/4/2016	364.47	0.00	09/06/2016	
101-420-511-5405 R&M - buildings					Remove and replaced Fill Adaptor for tank
	13642 Total:	364.47			
	Metro Tank and Pump Com	364.47			
MGP, Inc.					
MGPINC					
3170	7/31/2016	883.09	0.00	09/06/2016	
101-250-511-5599 Other contractual					GISC Staffing - July
3170	7/31/2016	883.09	0.00	09/06/2016	
101-000-210-2650 Contractor Permits Payable					GISC Staffing - July
3170	7/31/2016	1,766.19	0.00	09/06/2016	
660-620-519-5599 Other contractual					GISC Staffing - July
3170	7/31/2016	275.00	0.00	09/06/2016	
101-250-511-5599 Other contractual					GISC Staffing - July
	3170 Total:	3,807.37			
	MGP, Inc. Total:	3,807.37			
Midwest Meter Inc					
MIDWESTM					
0080488-IN	8/8/2016	4,340.00	0.00	09/06/2016	
660-620-519-5796 Water system repair parts					Single water MTU's
	0080488-IN Total:	4,340.00			
	Midwest Meter Inc Total:	4,340.00			
North Suburban					
NORTHSUB					
473-102171	8/9/2016	25.96	0.00	09/06/2016	
660-620-519-5480 R&M - vehicles					Oil filter

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	473-102171 Total:	25.96			
473-102267	8/9/2016	3.59	0.00	09/06/2016	
660-620-519-5480 R&M - vehicles					Radiator cap
	473-102267 Total:	3.59			
	North Suburban Total:	29.55			
Planned Forest Solutions LLC					
PLANNED					
168218	8/10/2016	2,052.00	0.00	09/06/2016	
101-400-511-5039 Other contract labor					Nuisance tree removal permits, inspection requests
	168218 Total:	2,052.00			
	Planned Forest Solutions L	2,052.00			
Russo Power Equipment					
RUSSO					
33364952	8/9/2016	53.10	0.00	09/06/2016	
205-430-515-5730 Program supplies					Chain loop for Parks
	33364952 Total:	53.10			
3364955	8/9/2016	408.44	0.00	09/06/2016	
205-430-515-5730 Program supplies					Spark plug, carburetor, filter for Parks
	3364955 Total:	408.44			
	Russo Power Equipment T	461.54			
Sitelis, Maria					
SITELIS					
8.5.2016	8/5/2016	73.50	0.00	09/06/2016	
205-503-515-5270 Purchased program services					Wednesday Zumba

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
8.5.2016	8/5/2016	75.60	0.00	09/06/2016	
205-503-515-5270					Purchased program services
8.5.2016	8/5/2016	84.00	0.00	09/06/2016	Combo Pack
205-503-515-5270					Purchased program services
8.5.2016	8/5/2016	66.50	0.00	09/06/2016	Drop-In
205-503-515-5270					Purchased program services
					Sunday June 19th Sub Fee
8.5.2016 Total:		299.60			
Sitelis, Maria Total:		299.60			
Solid Waste Agency of Northern Cook County					
SOLIDWA					
5437	9/1/2016	17,951.89	0.00	09/06/2016	
101-440-514-5230					Garbage & recycling
					FY 2016 O & M Costs - October
5437 Total:		17,951.89			
Solid Waste Agency of Nor		17,951.89			
Standard Equipment Company					
STANDARD					
C15367	8/5/2016	167.90	0.00	09/06/2016	
660-620-519-5480					R&M - vehicles
					Filter head gasket for Truck #6
C15367 Total:		167.90			
Standard Equipment Comp		167.90			
State Treasurer, IL Dept of Trans.					
STATETIL					
43399	2/2/2016	2,947.84	0.00	09/06/2016	
212-000-513-5290					Street lights & traffic signal
					Maintenance for traffic control signals
43399 Total:		2,947.84			
50525	8/1/2016	5,947.50	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
212-000-513-5290 Street lights & traffic signal					Maintenance for Traffic Control Signals
50525 Total:		5,947.50			
State Treasurer, IL Dept of		8,895.34			
Suburban Laboratories, Inc. SUBURB 136473	7/23/2016	120.00	0.00	09/06/2016	Coliform testing and disinfectant products
660-620-519-5320 Consulting					
136473 Total:		120.00			
Suburban Laboratories, Inc		120.00			
Terex Services, Inc. DUECOINC 90376700	8/5/2016	127.83	0.00	09/06/2016	Bucket control parts for Truck #1
101-440-513-5480 R&M - vehicles					
90376700 Total:		127.83			
Terex Services, Inc. Total:		127.83			
The Fun Ones THEFUN 49356	5/26/2016	415.00	0.00	09/06/2016	Family Fun Fest activity
205-504-515-5270 Purchased program services					
49356 Total:		415.00			
49359	5/26/2016	465.00	0.00	09/06/2016	Pumpkins in The Park
205-504-515-5270 Purchased program services					
49359 Total:		465.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	The Fun Ones Total:	880.00			
Trizetto Provider Solutions					
TRIZETTO					
7108081600	8/1/2016	175.80	0.00	09/06/2016	
101-000-410-4315					Ambulance & EMS fees
					Claims transaction fee for ambulance invoices
	7108081600 Total:	175.80			
	Trizetto Provider Solutions	175.80			
Tru Link Fence & Products					
TRULINK					
40355	8/5/2016	1,987.75	0.00	09/06/2016	
205-430-515-5730					Program supplies
					Wood rails for Small Parks
	40355 Total:	1,987.75			
40357	8/5/2016	1,017.10	0.00	09/06/2016	
205-430-515-5730					Program supplies
					Wood rails for Small Parks
	40357 Total:	1,017.10			
	Tru Link Fence & Products	3,004.85			
Vollmar Clay Products Company					
VOLLMER					
170616	7/15/2016	1,080.00	0.00	09/06/2016	
660-620-519-5796					Water system repair parts
					Cement bricks, small slots, concrete cone
	170616 Total:	1,080.00			
	Vollmar Clay Products Com	1,080.00			

Westmont Auto Parts

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
WESTMONT					
13150	7/14/2016	267.78	0.00	09/06/2016	
205-430-515-5480 R&M - vehicles					Spark plugs, seal pads for Truck
	13150 Total:	267.78			
13165	7/15/2016	68.02	0.00	09/06/2016	
205-430-515-5480 R&M - vehicles					Coil for Truck #48
	13165 Total:	68.02			
13196	7/20/2016	34.95	0.00	09/06/2016	
205-430-515-5480 R&M - vehicles					Pittman for Truck #48
	13196 Total:	34.95			
13216	7/21/2016	114.78	0.00	09/06/2016	
205-430-515-5480 R&M - vehicles					Press sensor for Truck #48
	13216 Total:	114.78			
13231	7/21/2016	31.47	0.00	09/06/2016	
205-430-515-5480 R&M - vehicles					Actuat for Truck #48
	13231 Total:	31.47			
13430	8/8/2016	193.44	0.00	09/06/2016	
101-300-512-5480 R&M - vehicles					Oil Filter
	13430 Total:	193.44			
	Westmont Auto Parts Total	710.44			
Wirfs Industries					
WIRFS					
31045	8/9/2016	4,440.31	0.00	09/06/2016	
101-350-512-5480 R&M - vehicles					Repairs and pump test T15
	31045 Total:	4,440.31			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description

	Wirfs Industries Total:	4,440.31		
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Work' N Gear, LLC				
WRKNGEAR				
HA65035	8/3/2016	285.00	0.00	09/06/2016
101-440-513-5070	Uniform allowance			Clothing allowance

	HA65035 Total:	285.00		
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	Work' N Gear, LLC Total:	285.00		
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	Report Total:	170,698.09		
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Accounts Payable

To Be Paid Proof List

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Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
Advocate Occupational Health					
ADVOCA					
619859	8/5/2016	336.00	0.00	09/06/2016	
101-200-511-5599					Other contractual Drug Screening
		<hr/>			
619859 Total:		336.00			
620286					
620286	8/5/2016	263.00	0.00	09/06/2016	
101-200-511-5599					Other contractual Drug Screening
		<hr/>			
620286 Total:		263.00			
		<hr/>			
Advocate Occupational He		599.00			
American Charge Service					
AMERCHAR					
98861	7/29/2016	23.00	0.00	09/06/2016	
205-570-515-5280					Subsidized taxi program Taxi Coupons - July
		<hr/>			
98861 Total:		23.00			
		<hr/>			
American Charge Service T		23.00			
American First Aid Services					
AFAS INC					
40211	8/11/2016	9.25	0.00	09/06/2016	
205-500-515-5700					Office supplies First Aid Box - Parks

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
	40211 Total:	9.25			
40212	8/11/2016	192.55	0.00	09/06/2016	Pool first aid supplies
	205-560-515-5730 Program supplies				
	40212 Total:	192.55			
40214	8/11/2016	61.40	0.00	09/06/2016	First Aid Box - PD
	101-300-512-5730 Program supplies				
	40214 Total:	61.40			
40215	8/11/2016	13.10	0.00	09/06/2016	First Aid Box - Village Hall
	101-200-511-5599 Other contractual				
	40215 Total:	13.10			
	American First Aid Service	276.30			
	American Planning Association				
	AMERPLNA				
073469-1673	7/28/2016	475.00	0.00	09/06/2016	APA Membership - Category P
	101-000-210-2620 Contractor bonds payable				
	073469-1673 Total:	475.00			
	American Planning Associa	475.00			
	American Traffic Solutions				
	ATS				
INV00022634	7/31/2016	4,550.00	0.00	09/06/2016	Monthly Contractual fee - July
	101-300-512-5599 Other contractual				
	INV00022634 Total:	4,550.00			
	American Traffic Solutions	4,550.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
Brownells, Inc.					
BROWNELL					
12875372	8/9/2016	79.70	0.00	09/06/2016	
101-300-512-5610					Ammunition & range supplies
					Weapons Chamber Blocking Device
12875372	8/9/2016	7.95	0.00	09/06/2016	
101-210-511-5720					Postage
					Shipping
	12875372 Total:	87.65			
	Brownells, Inc. Total:	87.65			
Bushnell Incorporated					
BUSHNELL					
14195500	8/3/2016	51.14	0.00	09/06/2016	
205-560-515-5405					R&M - buildings
					Umbrella clamps
	14195500 Total:	51.14			
	Bushnell Incorporated Total:	51.14			
Business Only Broadband					
BUSONLY					
73589	9/1/2016	250.00	0.00	09/06/2016	
101-250-511-5580					Telephone
					Back-up Connection - Internet Access
	73589 Total:	250.00			
73590	9/1/2016	250.00	0.00	09/06/2016	
101-250-511-5580					Telephone
					Wireless Alarm Internet Access
	73590 Total:	250.00			
	Business Only Broadband	500.00			
Call One					
CALLONE					
1129134	8/15/2016	1,087.65	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
101-210-511-5580 Telephone					Telephone - July - Admin/Police
1129134 Total:		1,087.65			
1129135	8/15/2016	-672.51	0.00	09/06/2016	
660-610-519-5580 Telephone					Telephone - July - Standpipe/Pump House
1129135 Total:		-672.51			
1129136	8/15/2016	323.06	0.00	09/06/2016	
101-210-511-5580 Telephone					Telephone - July - NORCOM
1129136 Total:		323.06			
1129137	8/15/2016	40.04	0.00	09/06/2016	
101-210-511-5580 Telephone					Telephone - July - Aquatic Center
1129137 Total:		40.04			
1129138	8/15/2016	306.96	0.00	09/06/2016	
101-210-511-5580 Telephone					Telephone - July - Public Works
1129138 Total:		306.96			
1129140	8/15/2016	41.72	0.00	09/06/2016	
660-610-519-5580 Telephone					Telephone - July - Public Works
1129140 Total:		41.72			
1129141	8/15/2016	41.77	0.00	09/06/2016	
660-610-519-5580 Telephone					Telephone - July - Pump House
1129141 Total:		41.77			
1129143	8/15/2016	630.15	0.00	09/06/2016	
101-210-511-5580 Telephone					Telephone - July - Municipal Center
1129143 Total:		630.15			
1129144	8/15/2016	50.00	0.00	09/06/2016	
101-000-210-2650 Contractor Permits Payable					Telephone - July - Connection to Red Center
1129144	8/15/2016	213.00	0.00	09/06/2016	
101-210-511-5580 Telephone					Telephone - July - Connection to Red Center

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	1129144 Total:	263.00			
	Call One Total:	2,061.84			
Canon Solutions America					
CANN					
389013	8/1/2016	65.94	0.00	09/06/2016	
	101-210-511-5440 R&M - office equipment				Copier IM 3511 - Maintenance - August
	389013 Total:	65.94			
	Canon Solutions America T	65.94			
Cassidy Tire					
CASSIDYT					
5183510	8/9/2016	159.24	0.00	09/06/2016	
	101-300-512-5480 R&M - vehicles				Tires for Squad MP1123
	5183510 Total:	159.24			
	Cassidy Tire Total:	159.24			
CFE-TAGMAN					
CFETAG					
072616	7/26/2016	757.40	0.00	09/06/2016	
	101-300-512-5730 Program supplies				Award recognition ribbons
	072616 Total:	757.40			
	CFE-TAGMAN Total:	757.40			
Chicago Communications, LLC					
CHGOCOMM					
284356	8/2/2016	816.05	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
101-300-512-5410 R&M - communications equipm					Monthly Police Mobile radio maintenance
284356 Total:		816.05			
Chicago Communications,		816.05			
Christopher Burke Engineering CHRISTB					
130839	8/11/2016	4,319.56	0.00	09/06/2016	Devon Avenue Streetscape Phase I
220-000-511-5340 Engineering					
130839 Total:		4,319.56			
130889	8/12/2016	4,500.00	0.00	09/06/2016	Retainer - July
101-290-511-5920 Administration Engineer Costs					
130889	8/12/2016	4,500.00	0.00	09/06/2016	Retainer - July
660-620-519-5399 Other professional services					
130889 Total:		9,000.00			
130890	8/12/2016	230.00	0.00	09/06/2016	Community Center Roof Evaluation
205-571-515-5730 Program supplies					
130890 Total:		230.00			
130891	8/12/2016	4,629.50	0.00	09/06/2016	Lincoln Avenue Landscaped Medians
465-000-561-5340 Engineering					
130891 Total:		4,629.50			
130892	8/12/2016	9,165.25	0.00	09/06/2016	UP ROW Parking lot
217-000-561-5340 Engineering					
130892 Total:		9,165.25			
130893	8/12/2016	3,508.64	0.00	09/06/2016	North Shore Channel Outfall
660-620-519-5320 Consulting					
130893 Total:		3,508.64			
130894	8/12/2016	3,910.93	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
101-290-511-5922 Building Engineering Costs					3400 Pratt
130894 Total:		3,910.93			
130895	8/12/2016	740.00	0.00	09/06/2016	
101-290-511-5922 Building Engineering Costs					Lou Malnati's Plan review
130895 Total:		740.00			
130896	8/12/2016	222.00	0.00	09/06/2016	
101-290-511-5922 Building Engineering Costs					3550 Pratt Ave parking expansion
130896 Total:		222.00			
130897	8/12/2016	1,110.00	0.00	09/06/2016	
101-290-511-5922 Building Engineering Costs					Food For Thought parking expansion
130897 Total:		1,110.00			
Christopher Burke Engineer		36,835.88			
College of Dupage COLLEGEO 7274	8/2/2016	6,226.00	0.00	09/06/2016	
101-300-512-5590 Training					Basic recruit training for PD
7274 Total:		6,226.00			
College of Dupage Total:		6,226.00			
Day, Mitchell DAYM REIM080516MDL	8/5/2016	98.79	0.00	09/06/2016	
101-300-512-5830 Lodging					Reimbursement - Lodging
REIM080516MDL Total:		98.79			
REIM080516MDM	8/5/2016	115.00	0.00	09/06/2016	
101-300-512-5840 Meals					Reimbursement - Meals

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number	Description			
REIM080516MDM 101-300-512-5670 Fuel	8/5/2016	24.79	0.00	09/06/2016 Reimbursement - Misc
REIM080516MDM Total:		139.79		
Day, Mitchell Total:		238.58		
EC Link ECLINK 11962 101-250-511-5340 Maintenance Agreement Expen	5/2/2016	3,979.00	0.00	09/06/2016 Annual License maintenance & hosting - Egov
11962 Total:		3,979.00		
EC Link Total:		3,979.00		
Emcor Services Team Mechanical Inc EMCOR 3053053 205-563-515-5405 Repairs and Maint. Building	7/26/2016	517.00	0.00	09/06/2016 Freezer repairs
3053053 Total:		517.00		
Emcor Services Team Mec		517.00		
GameTime GAMET PJI-0042125 205-430-515-5730 Program supplies	7/29/2016	2,260.00	0.00	09/06/2016 Engineered Wood Fiber
PJI-0042125 Total:		2,260.00		
GameTime Total:		2,260.00		

Graham C-Stores Company

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
GRAHAM				
INV-087004	8/1/2016	625.00	0.00	09/06/2016
101-300-512-5480 R&M - vehicles				Car Washes - May thru July 2016
	INV-087004 Total:	625.00		
	Graham C-Stores Company	625.00		
Gronlund, Eric				
GRONLUND				
REIM080516EGM	8/5/2016	115.00	0.00	09/06/2016
101-300-512-5840 Meals				Reimbursement - Meals
REIM080516EGM	8/5/2016	29.68	0.00	09/06/2016
101-300-512-5670 Fuel				Reimbursement - Misc
	REIM080516EGM Total:	144.68		
	Gronlund, Eric Total:	144.68		
Halogen				
HALOGEN				
491322	8/4/2016	362.14	0.00	09/06/2016
205-560-515-5405 R&M - buildings				Pool Maintenance supplies
	491322 Total:	362.14		
491904	8/15/2016	2,468.28	0.00	09/06/2016
205-560-515-5630 Chemicals - swimming pool				Pool supplies
	491904 Total:	2,468.28		
492002	8/16/2016	37.00	0.00	09/06/2016
205-560-515-5630 Chemicals - swimming pool				Sodium Bicarbonate
492002	8/16/2016	15.75	0.00	09/06/2016
205-560-515-5405 R&M - buildings				Kiddie Pool controller relay
	492002 Total:	52.75		
492003	8/16/2016	37.00	0.00	09/06/2016

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
205-560-515-5630 Chemicals - swimming pool					Sodium Bicarbonate
492003	8/16/2016	47.25	0.00	09/06/2016	
205-560-515-5405 R&M - buildings					Back up pool controller relays
492003 Total:		84.25			
492080	8/17/2016	104.55	0.00	09/06/2016	
205-560-515-5405 R&M - buildings					Pool locker room floor cleaner
492080 Total:		104.55			
Halogen Total:		3,071.97			
Harmening, Wendy					
HARMENIN					
8162016	8/16/2016	218.75	0.00	09/06/2016	
205-503-515-5270 Purchased program services					Nordic Walking
8162016 Total:		218.75			
Harmening, Wendy Total:		218.75			
Holland & Knight LLP					
HOLLAND					
053116	5/31/2016	12,389.00	0.00	09/06/2016	
101-230-511-5350 Legal - retainer					Retainer - May
053116 Total:		12,389.00			
07312016	7/31/2016	12,389.00	0.00	09/06/2016	
101-230-511-5350 Legal - retainer					Retainer - July
07312016 Total:		12,389.00			
3340899	6/8/2016	2,042.50	0.00	09/06/2016	
101-230-511-5370 Legal - review					Purple Hotel Development
3340899 Total:		2,042.50			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
3351983	6/8/2016	1,188.00	0.00	09/06/2016	7370 N Cicero
101-230-511-5370 Legal - review					
3351983 Total:		1,188.00			
3351984	6/8/2016	595.00	0.00	09/06/2016	Begyle Brewing Zoning
101-230-511-5370 Legal - review					
3351984 Total:		595.00			
3351987	6/8/2016	102.50	0.00	09/06/2016	UP Abandonment
217-000-517-5399 Other professional services					
3351987 Total:		102.50			
3351988	6/8/2016	4,992.00	0.00	09/06/2016	E-911 Consolidation
101-230-511-5370 Legal - review					
3351988 Total:		4,992.00			
3351990	6/8/2016	270.00	0.00	09/06/2016	Prosecution of Real Estate Tax Appeal
217-000-517-5399 Other professional services					
3351990 Total:		270.00			
3351992	6/8/2016	1,909.50	0.00	09/06/2016	BFPC - General
101-230-511-5370 Legal - review					
3351992 Total:		1,909.50			
3351993	6/8/2016	172.50	0.00	09/06/2016	School District
101-230-511-5370 Legal - review					
3351993 Total:		172.50			
5378600	8/12/2016	904.50	0.00	09/06/2016	Telecommunications Ordinance
101-230-511-5370 Legal - review					
5378600 Total:		904.50			
5378604	8/12/2016	1,138.50	0.00	09/06/2016	Platform Shore
101-230-511-5360 Legal - litigation					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
		1,138.50			
5378604 Total:					
5378607	8/12/2016	2,982.00	0.00	09/06/2016	
101-230-511-5370 Legal - review					Sacred Learning Center
		2,982.00			
5378607 Total:					
5378608	8/12/2016	126.00	0.00	09/06/2016	
101-230-511-5399 Other professional services					6600 Kilpatrick
		126.00			
5378608 Total:					
5378609	8/12/2016	52.00	0.00	09/06/2016	
101-230-511-5370 Legal - review					E-911 Consolidation
		52.00			
5378609 Total:					
5378611	8/12/2016	567.00	0.00	09/06/2016	
101-230-511-5370 Legal - review					3701 Touhy
		567.00			
5378611 Total:					
5378612	8/12/2016	2,792.78	0.00	09/06/2016	
101-230-511-5360 Legal - litigation					Litigation
		2,792.78			
5378612 Total:					
5378613	8/12/2016	661.50	0.00	09/06/2016	
101-230-511-5370 Legal - review					Trim Tex
		661.50			
5378613 Total:					
5378614	8/12/2016	324.00	0.00	09/06/2016	
101-230-511-5370 Legal - review					3550 Pratt
		324.00			
5378614 Total:					
Holland & Knight LLP Tot		45,598.28			

Hoving Pit Stop

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
HOVING					
139790	8/4/2016	93.00	0.00	09/06/2016	
205-430-515-5730	Program supplies				Weekly services - Centennial
	139790 Total:	93.00			
	Hoving Pit Stop Total:	93.00			
Illinois State Police - Director					
ILSTP					
ISP15-16526	8/11/2016	583.26	0.00	09/06/2016	
101-000-210-2480	Unadjudicated forfeitures				Funds - Re: Asset Forfeiture
	ISP15-16526 Total:	583.26			
	Illinois State Police - Direc	583.26			
Impact Networking, LLC					
IMPACT					
699579	8/17/2016	19.50	0.00	09/06/2016	
101-210-511-5440	R&M - office equipment				Shipping Fees - Copier - Admin
	699579 Total:	19.50			
	Impact Networking, LLC T	19.50			
Maine-Niles Association of Special Recreation					
MNASR					
16-119	8/16/2016	4,214.53	0.00	09/06/2016	
205-580-515-5270	Purchased program services				Inclusion Services - July C 2016
	16-119 Total:	4,214.53			
	Maine-Niles Association o	4,214.53			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
Malnati Organization MALNATI E221132	8/16/2016	258.35	0.00	09/06/2016	
101-100-511-5840 Meals					Dinner - Village Board meeting - 8/16/16
	E221132 Total:	258.35			
	Malnati Organization Total	258.35			
Marc Printing MARCP 110502	8/1/2016	918.64	0.00	09/06/2016	
101-100-511-5799 Other materials & supplies					Crystal bowls - Madeleine Grant Awards
	110502 Total:	918.64			
	Marc Printing Total:	918.64			
Mihaljevic, Anisah MIHALJEV 081616	8/16/2016	104.00	0.00	09/06/2016	
205-000-210-2430 Parks and Recs Control Deposi					Refund Household credit
	081616 Total:	104.00			
	Mihaljevic, Anisah Total:	104.00			
Mohamed, Layla MOHAMED 081716	8/17/2016	215.00	0.00	09/06/2016	
205-000-210-2430 Parks and Recs Control Deposi					Refund - Camp
	081716 Total:	215.00			
	Mohamed, Layla Total:	215.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
Morrison Associates, LTD MORRIS 2016:0024	8/18/2016	1,400.00	0.00	09/06/2016	Professional Development - Village Manager
101-200-511-5320 Consulting					
2016:0024 Total:		1,400.00			
Morrison Associates, LTD		1,400.00			
Orange Crush LLC ORANGCRH 11655	8/5/2016	327.06	0.00	09/06/2016	Asphalt Surface mix
213-000-561-5490 R&M Road Repairs					
11655 Total:		327.06			
Orange Crush LLC Total:		327.06			
Persohn, Amy PERSOHN 081616	8/16/2016	81.00	0.00	09/06/2016	Refund - Swim Lessons
205-000-210-2430 Parks and Recs Control Deposi					
081616 Total:		81.00			
Persohn, Amy Total:		81.00			
Regional Emergency Dispatch REGIONAL 222-17-09	8/15/2016	12,667.59	0.00	09/06/2016	September 2016 dues
101-350-512-5599 Other contractual					
222-17-09 Total:		12,667.59			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
	Regional Emergency Dispa	12,667.59		
U.S. FoodService, Inc. USFOODSE				
1424931	8/5/2016	1,652.99	0.00	09/06/2016
205-563-515-5645	Concessions & food			Concession Stand food
1424931 Total:		1,652.99		
1642659	8/12/2016	337.52	0.00	09/06/2016
205-563-515-5645	Concessions & food			Concession Stand food
1642659 Total:		337.52		
1642660	8/12/2016	189.99	0.00	09/06/2016
205-563-515-5645	Concessions & food			Concession Stand food
1642660 Total:		189.99		
1642661	8/12/2016	39.97	0.00	09/06/2016
205-563-515-5645	Concessions & food			Concession Stand food
1642661 Total:		39.97		
1642662	8/12/2016	330.43	0.00	09/06/2016
205-563-515-5645	Concessions & food			Concession Stand food
1642662 Total:		330.43		
1773924	8/17/2016	549.14	0.00	09/06/2016
205-563-515-5645	Concessions & food			Concession Stand food
1773924 Total:		549.14		
2958431	7/29/2016	-295.92	0.00	09/06/2016
205-563-515-5645	Concessions & food			Concession Stand food
2958431 Total:		-295.92		

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description

	U.S. FoodService, Inc. Tot	2,804.12		
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Zibert, Simon
ZIBERT

08182016	8/18/2016	95.00	0.00	09/06/2016
205-000-210-2430	Parks and Recs Control Deposi			Refund - Tennis

	08182016 Total:	95.00		
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	Zibert, Simon Total:	95.00		
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	Report Total:	133,918.75		
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Accounts Payable

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Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
Active Electrical Supply Co. Inc. & Fox Lighting				
ACTIVELE				
10486514-00	8/8/2016	77.63	0.00	09/06/2016
101-420-511-5405 R&M - buildings				Plug, fuse, adapter for PD
	10486514-00 Total:	77.63		
10486532-00	8/8/2016	144.00	0.00	09/06/2016
101-420-511-5405 R&M - buildings				Ceiling for PD
	10486532-00 Total:	144.00		
10486790-00	8/12/2016	15.19	0.00	09/06/2016
660-620-519-5730 Program supplies				Switch for Stand Pipe
	10486790-00 Total:	15.19		
	Active Electrical Supply C	236.82		
Air One Equipment				
AIRONE				
115252	8/17/2016	360.50	0.00	09/06/2016
101-350-512-5665 Firefighting supplies				SCBA mask
	115252 Total:	360.50		
	Air One Equipment Total:	360.50		

Amazon

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
AMAZON					
129892332959	8/1/2016	18.52	0.00	09/06/2016	Supplies for employee appreciation
101-200-511-5799 Other materials & supplies					
	129892332959 Total:	18.52			
129896381275	8/1/2016	24.40	0.00	09/06/2016	Supplies for employee appreciation
101-200-511-5799 Other materials & supplies					
	129896381275 Total:	24.40			
1298983643	8/3/2016	21.99	0.00	09/06/2016	Supplies for employee appreciation
101-200-511-5799 Other materials & supplies					
	1298983643 Total:	21.99			
130263337306	8/1/2016	418.99	0.00	09/06/2016	Computer supplies
101-300-512-5640 Computer supplies					
	130263337306 Total:	418.99			
134782169596	7/29/2016	19.24	0.00	09/06/2016	Thermal paper
101-240-517-5700 Office supplies					
	134782169596 Total:	19.24			
139243147433	8/8/2016	13.49	0.00	09/06/2016	Batteries
101-200-511-5700 Office supplies					
	139243147433 Total:	13.49			
139243979627	8/5/2016	13.69	0.00	09/06/2016	Batteries and staples
101-200-511-5700 Office supplies					
	139243979627 Total:	13.69			
140809369418	7/19/2016	179.92	0.00	09/06/2016	IT supplies
101-250-511-6530 Equipment - data processing					
	140809369418 Total:	179.92			
165686831015	8/2/2016	8.99	0.00	09/06/2016	Supplies for employee appreciation
101-200-511-5799 Other materials & supplies					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
	165686831015 Total:	8.99			
180062415864	7/28/2016	74.00	0.00	09/06/2016	Rollers for scanner
101-300-512-5730	Program supplies				
	180062415864 Total:	74.00			
238918743108	7/27/2016	59.98	0.00	09/06/2016	Sump Pump replacement
101-350-512-5799	Other materials & supplies				
	238918743108 Total:	59.98			
2558780448085	7/29/2016	51.00	0.00	09/06/2016	Rollers for scanner
101-400-511-5700	Office supplies				
	2558780448085 Total:	51.00			
282907016798	7/13/2016	19.24	0.00	09/06/2016	Thermal paper rolls
101-210-511-5700	Office supplies				
	282907016798 Total:	19.24			
29323450228	7/14/2016	7.99	0.00	09/06/2016	USB cable
101-200-511-5700	Office supplies				
	29323450228 Total:	7.99			
39957425987	7/14/2016	115.00	0.00	09/06/2016	Replacement battery
101-300-512-5640	Computer supplies				
	39957425987 Total:	115.00			
70551708156	7/7/2016	62.28	0.00	09/06/2016	Computer supplies - hard drive
101-250-511-6530	Equipment - data processing				
	70551708156 Total:	62.28			
7094482374	8/2/2016	14.82	0.00	09/06/2016	Supplies for employee appreciation
101-200-511-5799	Other materials & supplies				
	7094482374 Total:	14.82			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
72883842794	8/3/2016	18.95	0.00	09/06/2016
101-200-511-5799	Other materials & supplies			Supplies for employee appreciation
	72883842794 Total:	18.95		
72884834168	8/3/2016	29.45	0.00	09/06/2016
101-200-511-5799	Other materials & supplies			Supplies for employee appreciation
	72884834168 Total:	29.45		
72886749485	8/2/2016	81.47	0.00	09/06/2016
101-200-511-5799	Other materials & supplies			Supplies for employee appreciation
	72886749485 Total:	81.47		
72889342654	8/3/2016	69.73	0.00	09/06/2016
101-200-511-5799	Other materials & supplies			Supplies for employee appreciation
	72889342654 Total:	69.73		
	Amazon Total:	1,323.14		
American First Aid Services				
AFAS INC				
36635	5/9/2016	67.55	0.00	09/06/2016
205-571-515-5535	Facility rental			First aid supplies
	36635 Total:	67.55		
	American First Aid Service	67.55		
Anderson Lock				
ANDERSON				
918106	8/15/2016	22.80	0.00	09/06/2016
205-571-515-5535	Facility rental			Community Center replacement keys
	918106 Total:	22.80		

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
	Anderson Lock Total:	22.80		
Best Quality Cleaning, Inc.				
BESTQU				
15788	7/20/2016	2,813.34	0.00	09/06/2016
101-420-511-5240	Janitorial			Cleaning Services - July
15788	7/20/2016	416.66	0.00	09/06/2016
205-571-515-5240	Janitorial			Cleaning Services - July
15788 Total:		3,230.00		
16212	8/20/2016	2,813.34	0.00	09/06/2016
101-420-511-5240	Janitorial			Cleaning Services - August
16212	8/20/2016	416.66	0.00	09/06/2016
205-571-515-5240	Janitorial			Cleaning Services - August
16212 Total:		3,230.00		
Best Quality Cleaning, Inc.		6,460.00		
Cassidy Tire				
CASSIDYT				
5183404	7/27/2016	278.10	0.00	09/06/2016
205-430-515-5480	R&M - vehicles			New tire for Truck #29
5183404 Total:		278.10		
Cassidy Tire Total:		278.10		
Commonwealth Edison				
COMED				
1011026306	8/15/2016	1,765.85	0.00	09/06/2016
101-440-513-5785	Utilities - public way			Metered Street Lights
1011026306 Total:		1,765.85		
2028043041	8/8/2016	2,883.78	0.00	09/06/2016

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
101-440-513-5785 Utilities - public way					Master Account Street Lighting
2028043041 Total:		2,883.78			
5103171049	8/15/2016	7,832.86	0.00	09/06/2016	
101-440-513-5785 Utilities - public way					Master Account Street Lighting
5103171049	8/15/2016	21.54	0.00	09/06/2016	
660-620-519-5785 Utilities - public way					Master Account Street Lighting
5103171049 Total:		7,854.40			
57221-35010	8/8/2016	187.43	0.00	09/06/2016	
101-440-513-5785 Utilities - public way					Master Account Street Lighting
57221-35010 Total:		187.43			
592075011	7/28/2016	2,402.09	0.00	09/06/2016	
101-440-513-5785 Utilities - public way					Master Account Street Lighting
592075011 Total:		2,402.09			
Commonwealth Edison To		15,093.55			
Dooley, Kim DOOLEYKI 081916	8/19/2016	180.00	0.00	09/06/2016	
205-000-210-2430 Parks and Rees Control Deposi					Refund - Private Swim
081916 Total:		180.00			
Dooley, Kim Total:		180.00			
Eagle Engraving EAGLE 2016-2258	8/16/2016	16.24	0.00	09/06/2016	
101-350-512-5665 Firefighting supplies					Passport tags & gear locker sign
2016-2258 Total:		16.24			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Eagle Engraving Total:		16.24			
Elahi, Nimra					
ELAHI					
082316	8/23/2016	20.00	0.00	09/06/2016	Refund late fee on sticker
101-000-410-4201 License - passenger car					
082316 Total:		20.00			
Elahi, Nimra Total:		20.00			
Emcor Services Team Mechanical Inc					
EMCOR					
3053368	8/15/2016	4,084.33	0.00	09/06/2016	Services performed at PD RTU
101-420-511-5405 R&M - buildings					
3053368 Total:		4,084.33			
Emcor Services Team Mec		4,084.33			
Galls Incorporated					
GALLS					
5836442	8/5/2016	128.92	0.00	09/06/2016	Uniform items
101-300-512-5070 Uniform allowance					
5836442 Total:		128.92			
Galls Incorporated Total:		128.92			
Golf Mill Ford					
GOLFMILL					
402852P	8/16/2016	430.09	0.00	09/06/2016	Cleaner for Truck #25
205-430-515-5480 R&M - vehicles					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
402852P Total:		430.09			
Golf Mill Ford Total:		430.09			
HMO Healthcare Service Corporation					
HMO					
081716	8/17/2016	11,144.24	0.00	09/06/2016	
102-000-210-2027 Health insurance premium with				Employee Health Insurance - September 2016	
081716 Total:		11,144.24			
HMO Healthcare Service C		11,144.24			
Impact Networking, LLC					
IMPACT					
700237	8/18/2016	19.50	0.00	09/06/2016	
101-210-511-5440 R&M - office equipment				Shipping fees	
700237 Total:		19.50			
Impact Networking, LLC T		19.50			
Infinisource					
INFINI					
788580	8/10/2016	64.53	0.00	09/06/2016	
101-400-511-5440 R&M - office equipment				Monthly maintenance for Time Clock	
788580	8/10/2016	155.35	0.00	09/06/2016	
205-530-515-5730 Program supplies				Monthly maintenance for Time Clock	
788580	8/10/2016	370.45	0.00	09/06/2016	
205-560-515-5405 R&M - buildings				Monthly maintenance for Time Clock	
788580 Total:		590.33			
Infinisource Total:		590.33			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
Jake the Striper JAKETHES JTS0808217	8/8/2016	375.00	0.00	09/06/2016	Squad set up graphics
101-300-512-5480 R&M - vehicles					
	JTS0808217 Total:	375.00			
JTS0808218	8/8/2016	1,300.00	0.00	09/06/2016	Set up new squad #218
101-300-512-5480 R&M - vehicles					
	JTS0808218 Total:	1,300.00			
	Jake the Striper Total:	1,675.00			
JG Uniforms Inc JGUNIFOR 4962	8/2/2016	195.00	0.00	09/06/2016	Uniform items
101-300-512-5070 Uniform allowance					
	4962 Total:	195.00			
5009	8/2/2016	119.95	0.00	09/06/2016	Uniform items
101-300-512-5070 Uniform allowance					
	5009 Total:	119.95			
5102	8/4/2016	119.99	0.00	09/06/2016	Uniform items
101-300-512-5070 Uniform allowance					
	5102 Total:	119.99			
	JG Uniforms Inc Total:	434.94			
Johnstone Supply JOHNSTON 1008342-01	7/29/2016	25.00	0.00	09/06/2016	Gauge Adapter for Parks
205-430-515-5730 Program supplies					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
1008342-01 Total:		25.00			
Johnstone Supply Total:		25.00			
KGI Landscaping Co KGILANDS 222807	8/17/2016	9,750.00	0.00	09/06/2016	Repairs to Proesel Park
205-430-515-5250 Contract Maintenance					
222807 Total:		9,750.00			
KGI Landscaping Co Total		9,750.00			
Levin, Alan LEVINALA 16-6405	6/29/2016	200.00	0.00	09/06/2016	Reimbursement - Animal control services
101-400-511-5210 Animal control					
16-6405 Total:		200.00			
Levin, Alan Total:		200.00			
Lincolnwood Chamber of Commerce & Industry LWDCHAMB 9262016	8/22/2016	200.00	0.00	09/06/2016	Chamber of Commerce golf outing
101-100-511-5320 Consulting					
9262016	8/22/2016	200.00	0.00	09/06/2016	Chamber of Commerce golf outing
101-300-512-5730 Program supplies					
9262016	8/22/2016	50.00	0.00	09/06/2016	Chamber of Commerce golf outing
101-100-511-5840 Meals					
9262016	8/22/2016	50.00	0.00	09/06/2016	Chamber of Commerce golf outing
101-240-517-5840 Meals					
9262016 Total:		500.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	Lincolnwood Chamber of C	500.00			
Lowe's Business Acc/GECF					
LOWES					
16309	8/22/2016	69.33	0.00	09/06/2016	
	101-350-512-5799 Other materials & supplies				Carpet cleaner rental and soap
	16309 Total:	69.33			
2164	8/10/2016	8.96	0.00	09/06/2016	
	205-571-515-5510 Advertising				Basement piping repairs
	2164 Total:	8.96			
88497	8/22/2016	-23.75	0.00	09/06/2016	
	101-350-512-5799 Other materials & supplies				Rental deposit credit
	88497 Total:	-23.75			
	Lowe's Business Acc/GEC	54.54			
Madison National Life					
MADISON					
1222627	8/18/2016	151.29	0.00	09/06/2016	
	101-200-511-5150 Insurance - group life & AD&D				Life insurance - August
1222627	8/18/2016	74.33	0.00	09/06/2016	
	101-210-511-5150 Insurance - group life & AD&D				Life insurance - August
1222627	8/18/2016	86.04	0.00	09/06/2016	
	101-240-517-5150 Insurance - group life & AD&D				Life insurance - August
1222627	8/18/2016	545.09	0.00	09/06/2016	
	101-300-512-5150 Insurance - group life & AD&D				Life insurance - August
1222627	8/18/2016	17.02	0.00	09/06/2016	
	101-350-512-5150 Insurance - group life & AD&D				Life insurance - August
1222627	8/18/2016	64.71	0.00	09/06/2016	
	101-400-511-5150 Insurance - group life & AD&D				Life insurance - August
1222627	8/18/2016	35.16	0.00	09/06/2016	
	101-410-511-5150 Insurance - group life & AD&D				Life insurance - August
1222627	8/18/2016	86.39	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
101-440-513-5150 Insurance - group life & AD&D					Life insurance - August
1222627	8/18/2016	67.14	0.00	09/06/2016	
205-430-515-5150 Insurance - group life & AD&D					Life insurance - August
1222627	8/18/2016	72.95	0.00	09/06/2016	
205-500-515-5150 Insurance - group life & AD&D					Life insurance - August
1222627	8/18/2016	94.44	0.00	09/06/2016	
660-620-519-5150 Insurance - group life & AD&D					Life insurance - August
	1222627 Total:	1,294.56			
	Madison National Life Tot	1,294.56			
Martin Implement Sales Inc					
MARTINIM					
P02182	8/11/2016	942.56	0.00	09/06/2016	
205-430-515-5730 Program supplies					Bushings, cylinder for Parks
	P02182 Total:	942.56			
	Martin Implement Sales In	942.56			
Mashiach, Rhonda					
MASHIACH					
16-8402	8/8/2016	45.00	0.00	09/06/2016	
101-400-511-5210 Animal control					Remibursement animal control services
	16-8402 Total:	45.00			
	Mashiach, Rhonda Total:	45.00			
McKenna Automotive					
MCKENNA					
14364	8/15/2016	64.36	0.00	09/06/2016	
101-440-513-5480 R&M - vehicles					Fittings for Tractor #6
	14364 Total:	64.36			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
	McKenna Automotive Tota	64.36			
Menini Cartage Inc MENICRT 46941	8/10/2016	1,474.13	0.00	09/06/2016	Gravel for Alleys
101-440-513-5760 Street materials - aggregate					
46941 Total:		1,474.13			
Menini Cartage Inc Total:		1,474.13			
Meyer, Charles MEYER 5745	8/11/2016	28.60	0.00	09/06/2016	Supplies for Employee Appreciation event
101-200-511-5799 Other materials & supplies					
5745 Total:		28.60			
622400007416	8/11/2016	167.40	0.00	09/06/2016	Supplies for Employee Appreciation event
101-200-511-5799 Other materials & supplies					
622400007416 Total:		167.40			
Meyer, Charles Total:		196.00			
NAPA NAPA 228424	8/11/2016	17.49	0.00	09/06/2016	Air filter for truck
101-440-513-5480 R&M - vehicles					
228424 Total:		17.49			
228564	8/12/2016	54.71	0.00	09/06/2016	Air filter for truck
101-440-513-5480 R&M - vehicles					
228564 Total:		54.71			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	NAPA Total:	72.20			
New Pig Corporation					
NEWPIG					
21993038-00	8/3/2016	64.88	0.00	09/06/2016	
101-410-511-5730					Program supplies Hand pump for Shop
	21993038-00 Total:	64.88			
	New Pig Corporation Total	64.88			
Nicor Gas					
NICOR					
21-46-84-00003	8/8/2016	241.78	0.00	09/06/2016	
205-560-515-5780					Utilities - government buildin Pool - 7/8-8/8
	21-46-84-00003 Total:	241.78			
21-84-84-00004	8/8/2016	51.73	0.00	09/06/2016	
660-620-519-5780					Utilities - government buildin Pump Station - 7/8-8/8
	21-84-84-00004 Total:	51.73			
3017240000	8/9/2016	101.49	0.00	09/06/2016	
101-420-511-5780					Utilities - government buildin Public Services - 7/12-8/9
	3017240000 Total:	101.49			
31-46-84-00002	8/9/2016	162.97	0.00	09/06/2016	
205-560-515-5780					Utilities - government buildin Parks & Rec
	31-46-84-00002 Total:	162.97			
5202340000	8/9/2016	150.96	0.00	09/06/2016	
101-420-511-5780					Utilities - government buildin Village Hall - 7/11-8/9
	5202340000 Total:	150.96			
6202340000	8/9/2016	528.94	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
101-420-511-5780	Utilities - government buildin				Public Safety - 7/11-8/9
	6202340000 Total:	528.94			
70-61-47-04487	8/9/2016	81.15	0.00	09/06/2016	
205-560-515-5780	Utilities - government buildin				7055 Kostner - 7/8-8/9
	70-61-47-04487 Total:	81.15			
	Nicor Gas Total:	1,319.02			
Orange Crush LLC					
ORANGCRH					
12082	8/10/2016	210.00	0.00	09/06/2016	
213-000-561-5490	R&M Road Repairs				Asphalt surface mix
	12082 Total:	210.00			
	Orange Crush LLC Total:	210.00			
Perspectives					
PERSPECT					
84531	8/19/2016	550.00	0.00	09/06/2016	
101-200-511-5599	Other contractual				Training sessions
	84531 Total:	550.00			
	Perspectives Total:	550.00			
Pieczka, Mark					
PIECZKAM					
082216	8/22/2016	270.00	0.00	09/06/2016	
205-000-210-2430	Parks and Recs Control Deposi				Refund - Classes
	082216 Total:	270.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Pieccka, Mark Total:		270.00			
Pioneer Press					
PIONEERP					
081116	8/11/2016	32.24	0.00	09/06/2016	Renewal Subscription - PW
101-400-511-5620 Books & publications					
081116 Total:		32.24			
Pioneer Press Total:		32.24			
Pitney Bowes					
PITNEYBO					
3100400156	8/1/2016	262.26	0.00	09/06/2016	Rental fees July 30 thru Aug 29, 2016
101-210-511-5440 R&M - office equipment					
3100400156 Total:		262.26			
Pitney Bowes Total:		262.26			
Right Residential II, Funds 2 LLC					
RIGHT					
P3698486	8/10/2016	185.22	0.00	09/06/2016	Refund on ticket paid
101-000-410-4201 License - passenger car					
P3698486 Total:		185.22			
Right Residential II, Funds		185.22			
Robbins, Salomon & Patt, LTD					
RS&PLTD					
203012	8/10/2016	1,155.00	0.00	09/06/2016	Minicipal Prosecution/Traffic - July
101-230-511-5399 Other professional services					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
203012 Total:		1,155.00			
203013	8/10/2016	862.50	0.00	09/06/2016	
101-230-511-5399 Other professional services					Adjudicative Hearings - July
203013 Total:		862.50			
Robbins, Salomon & Patt,		2,017.50			
Sam's Club					
SAMSCL					
2876	8/4/2016	89.34	0.00	09/06/2016	
205-530-515-5645 Concessions & food					Day Camp- Ice Cream
2876 Total:		89.34			
Sam's Club Total:		89.34			
Secretary of State					
SECOFSTA					
ISOS14-13155	8/10/2016	95.00	0.00	09/06/2016	
101-000-210-2480 Unadjudicated forfeitures					Title for Seized vehicle
ISOS14-13155 Total:		95.00			
Secretary of State Total:		95.00			
Skeeter Kell Sports					
SKEETER					
SKC2658	1/6/2016	165.00	0.00	09/06/2016	
101-300-512-5070 Uniform allowance					Basic recruit uniform
SKC2658 Total:		165.00			
SKC3544	6/29/2016	330.00	0.00	09/06/2016	
101-300-512-5070 Uniform allowance					Basic recruit uniform

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description

SKC3544 Total:		330.00		
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Skeeter Kell Sports Total:		495.00		
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The Faucet Shoppe THEFAUCE 48265	8/9/2016	343.40	0.00	09/06/2016
205-430-515-5730 Program supplies				Small Parks & Shelter supplies

48265 Total:		343.40		
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48267	8/9/2016	91.95	0.00	09/06/2016
205-571-515-5535 Facility rental				Restroom faucet

48267 Total:		91.95		
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The Faucet Shoppe Total:		435.35		
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Thompson Elevator Inspection Service, Inc. THOMPSON 2587	8/8/2016	100.00	0.00	09/06/2016
101-240-517-5399 Other professional services				1 plan review

2587 Total:		100.00		
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2632	8/9/2016	456.00	0.00	09/06/2016
101-240-517-5399 Other professional services				12 semi annual elevator inspections
2632	8/9/2016	900.00	0.00	09/06/2016
101-240-517-5399 Other professional services				6 new construction

2632 Total:		1,356.00		
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Thompson Elevator Inspec		1,456.00		
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Trans Union Corp
TRANSU

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number	Description			
076005560	7/25/2016	60.00	0.00	09/06/2016
101-300-512-5399	Other professional services Monthly subscription fee			
	076005560 Total:	60.00		
	Trans Union Corp Total:	60.00		
Tyco Integrated Security LLC				
ADTSS				
27001122	8/6/2016	300.75	0.00	09/06/2016
660-610-519-5340	Maintenance Agreement Expen Alarm system servcie annual fee - Pump House			
	27001122 Total:	300.75		
	Tyco Integrated Security L	300.75		
United States Postal Service				
USPOSTAL				
PB081916	8/19/2016	15.34	0.00	09/06/2016
101-210-511-5720	Postage Pitney Bowes postage			
PB081916	8/19/2016	125.82	0.00	09/06/2016
101-210-511-5720	Postage Pitney Bowes postage			
PB081916	8/19/2016	3.19	0.00	09/06/2016
101-210-511-5720	Postage Pitney Bowes postage			
PB081916	8/19/2016	120.68	0.00	09/06/2016
101-210-511-5720	Postage Pitney Bowes postage			
PB081916	8/19/2016	11.57	0.00	09/06/2016
101-210-511-5720	Postage Pitney Bowes postage			
PB081916	8/19/2016	89.96	0.00	09/06/2016
205-500-515-5720	Postage Pitney Bowes postage			
PB081916	8/19/2016	31.83	0.00	09/06/2016
101-210-511-5720	Postage Pitney Bowes postage			
PB081916	8/19/2016	10.62	0.00	09/06/2016
101-210-511-5720	Postage Pitney Bowes postage			
PB081916	8/19/2016	163.68	0.00	09/06/2016
660-610-519-5720	Postage Pitney Bowes postage			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
PB081916 Total:		572.69			
United States Postal Servic		572.69			
Wholesale Direct Inc					
WHOLESALE					
222297	7/26/2016	122.95	0.00	09/06/2016	
101-410-511-5730 Program supplies					Bulb, plug, socket for Shop
222297 Total:		122.95			
222518	8/4/2016	46.88	0.00	09/06/2016	
101-410-511-5730 Program supplies					7- Way Socket
222518 Total:		46.88			
222519	8/4/2016	83.97	0.00	09/06/2016	
101-410-511-5730 Program supplies					7- Way Socket
222519 Total:		83.97			
Wholesale Direct Inc Total		253.80			
Work' N Gear, LLC					
WRKNGEAR					
HA65409	8/10/2016	219.96	0.00	09/06/2016	
660-620-519-5070 Uniform allowance					Clothing allowance
HA65409 Total:		219.96			
Work' N Gear, LLC Total:		219.96			
Zoll Medical Corporation GPO					
ZOLLMEDC					
2414571	8/17/2016	233.75	0.00	09/06/2016	
101-350-512-5660 EMS supplies					ETC02 intubation

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
2414571	8/17/2016	301.75	0.00	09/06/2016
101-350-512-5660	EMS supplies			ETC02 nasal cannula
	2414571 Total:	<u>535.50</u>		
	Zoll Medical Corporation G	<u>535.50</u>		
	Report Total:	<u><u>66,608.91</u></u>		

Accounts Payable

To Be Paid Proof List

User: jmazzeffi
Printed: 08/30/2016 - 10:52AM
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Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
Air One Equipment					
AIRONE					
115375	8/22/2016	98.30	0.00	09/06/2016	
	101-350-512-5430 R&M - Fire & EMS equipmen				Front holder kit for helmets
	115375 Total:	98.30			
	Air One Equipment Total:	98.30			
Alpha Baking Company					
ALPHABAK					
0554474320	7/20/2016	28.50	0.00	09/06/2016	
	205-563-515-5645 Concessions & food				Concession stand bread
	0554474320 Total:	28.50			
160055183002	7/1/2016	32.30	0.00	09/06/2016	
	205-563-515-5645 Concessions & food				Concession stand bread
	160055183002 Total:	32.30			
16005519002	7/8/2016	99.18	0.00	09/06/2016	
	205-563-515-5645 Concessions & food				Concession stand bread
	16005519002 Total:	99.18			
160055194002	7/12/2016	64.00	0.00	09/06/2016	
	205-563-515-5645 Concessions & food				Concession stand bread
	160055194002 Total:	64.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
160055204002	7/22/2016	11.50	0.00	09/06/2016	
205-563-515-5645					Concession stand bread
	160055204002 Total:	11.50			
160055208002	7/26/2016	91.50	0.00	09/06/2016	
205-563-515-5645					Concession stand bread
	160055208002 Total:	91.50			
160055210002	7/28/2016	103.30	0.00	09/06/2016	
205-563-515-5645					Concession stand bread
	160055210002 Total:	103.30			
160055218002	8/5/2016	59.50	0.00	09/06/2016	
205-563-515-5645					Concession stand bread
	160055218002 Total:	59.50			
160055224002	8/11/2016	17.10	0.00	09/06/2016	
205-563-515-5645					Concession stand bread
	160055224002 Total:	17.10			
160055225002	8/12/2016	22.70	0.00	09/06/2016	
205-563-515-5645					Concession stand bread
	160055225002 Total:	22.70			
	Alpha Baking Company To	529.58			
Arena Sports USA, Inc.					
ARENASPO					
1609145	6/6/2016	2,423.70	0.00	09/06/2016	
205-560-515-5730					Clothing - Parks Summer programs
1609145	6/6/2016	195.04	0.00	09/06/2016	
205-505-515-5730					Clothing - Parks Summer programs
	1609145 Total:	2,618.74			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
1609205	8/22/2016	307.81	0.00	09/06/2016	
205-505-515-5270	Purchased program services				Soccer Camp T- Shirts
	1609205 Total:	307.81			
	Arena Sports USA, Inc. To	2,926.55			
B & H Youth Soccer Club					
BHYOUTH					
82616	8/26/2016	3,340.40	0.00	09/06/2016	
205-550-515-5270	Purchased program services				Soccer - Camp Kickers
	82616 Total:	3,340.40			
	B & H Youth Soccer Club	3,340.40			
Bound Tree Medical, LLC					
BOUND					
82244906	8/19/2016	344.80	0.00	09/06/2016	
101-350-512-5660	EMS supplies				Glucose strips, tags
	82244906 Total:	344.80			
	Bound Tree Medical, LLC	344.80			
Bushnell Incorporated					
BUSHNELL					
14242500	8/23/2016	29.13	0.00	09/06/2016	
205-560-515-5405	R&M - buildings				Check valve for Pool sump pump
	14242500 Total:	29.13			
	Bushnell Incorporated Tota	29.13			

Christ, Donald

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
CHRIST				
07/10-07/31	7/26/2016	72.00	0.00	09/06/2016
205-540-515-5615 Awards				Payment for Umpire Services
	07/10-07/31 Total:	72.00		
	Christ, Donald Total:	72.00		
Commonwealth Edison				
COMED				
2873043051	8/5/2016	119.03	0.00	09/06/2016
101-440-513-5785 Utilities - public way				6471 N Lincoln
	2873043051 Total:	119.03		
381169268	8/4/2016	128.20	0.00	09/06/2016
101-440-513-5785 Utilities - public way				7002 N Tripp
	381169268 Total:	128.20		
4357072009	8/3/2016	122.14	0.00	09/06/2016
101-440-513-5785 Utilities - public way				6401 Mc Cormick
	4357072009 Total:	122.14		
4847019018	8/5/2016	107.31	0.00	09/06/2016
101-440-513-5785 Utilities - public way				6668 N Lincoln
	4847019018 Total:	107.31		
	Commonwealth Edison To	476.68		
Creative				
CREAT				
00214492	8/24/2016	113.78	0.00	09/06/2016
205-500-515-5730 Program supplies				Regatta Ladies polo
	00214492 Total:	113.78		

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
		113.78			
					Creative Total:
Dance All Night					
DANCE					
15021	8/24/2016	100.00	0.00	09/06/2016	
205-509-515-5270					Purchased program services Deposit for Turkey Trot DJ
		100.00			15021 Total:
		100.00			Dance All Night Total:
DS Arms					
DSAR					
539901	4/20/2016	1,947.50	0.00	09/06/2016	
101-300-512-5610					Ammunition & range supplies Slings and flashlights for AR-15 rifles
		1,947.50			539901 Total:
		1,947.50			DS Arms Total:
Emcor Services Team Mechanical Inc					
EMCOR					
3053493	8/22/2016	1,125.00	0.00	09/06/2016	
205-560-515-5405					R&M - buildings Heater repairs for Pool filter room
		1,125.00			3053493 Total:
		1,125.00			Emcor Services Team Mec
Fedex					
FEDEX					
5-507-82434	8/10/2016	26.41	0.00	09/06/2016	
101-210-511-5720					Postage Shipping - Police

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
5-507-82434 Total:		26.41			
Fedex Total:		26.41			
Grainger					
GRAINGER					
9186871126	8/4/2016	110.40	0.00	09/06/2016	
205-560-515-5405 R&M - buildings					Two soap dispensers for pool
9186871126 Total:		110.40			
Grainger Total:		110.40			
Great Lakes Coca Cola Distribution					
GREATLAC					
1495202329	7/6/2016	410.78	0.00	09/06/2016	
205-563-515-5645 Concessions & food					Pop for Concession
1495202329 Total:		410.78			
1495202543	7/27/2016	465.08	0.00	09/06/2016	
205-563-515-5645 Concessions & food					Pop for Concession
1495202543 Total:		465.08			
738204439	7/11/2016	78.48	0.00	09/06/2016	
205-563-515-5645 Concessions & food					Pop for Concession
738204439 Total:		78.48			
Great Lakes Coca Cola Dis		954.34			
Halogen					
HALOGEN					
492236	8/19/2016	317.50	0.00	09/06/2016	
205-560-515-5630 Chemicals - swimming pool					Pool chemicals

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
492236 Total:		317.50			
492237	8/19/2016	25.00	0.00	09/06/2016	Pool chemicals
205-560-515-5630 Chemicals - swimming pool					
492237 Total:		25.00			
492346	8/22/2016	1,108.25	0.00	09/06/2016	Pool controller probes
205-560-515-5405 R&M - buildings					
492346 Total:		1,108.25			
492437	8/23/2016	54.23	0.00	09/06/2016	Pool filter room supplies
205-560-515-5405 R&M - buildings					
492437 Total:		54.23			
492581	8/25/2016	-336.80	0.00	09/06/2016	Return
205-560-515-5630 Chemicals - swimming pool					
492581 Total:		-336.80			
Halogen Total:		1,168.18			
Illinois Homicide Investigators Association					
IHIA					
ILHIA71216	7/13/2016	975.00	0.00	09/06/2016	Registration for ILHIA Conference
101-300-512-5810 Conference & meeting registrat					
ILHIA71216 Total:		975.00			
Illinois Homicide Investiga		975.00			
Illinois Park and Rec Assn					
ILLPAR					
2634	8/25/2016	75.00	0.00	09/06/2016	Participation in 2017/2017 IPRA
205-500-515-5810 Conference & meeting registrat					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	2634 Total:	75.00			
	Illinois Park and Rec Assn	75.00			
Illinois Tactical Officers Assoc. ILTACTIC 3897	7/15/2016	1,475.00	0.00	09/06/2016	
101-300-512-5810 Conference & meeting registrat					ITOA Conference
	3897 Total:	1,475.00			
	Illinois Tactical Officers As	1,475.00			
JG Uniforms Inc JGUNIFOR 5480	8/15/2016	139.90	0.00	09/06/2016	
101-300-512-5070 Uniform allowance					Uniform allowance
	5480 Total:	139.90			
	JG Uniforms Inc Total:	139.90			
Kayak Chicago KAYAKCHI 91816	8/26/2016	500.00	0.00	09/06/2016	
205-504-515-5270 Purchased program services					Family Fun Fest 2016 Kayaking
	91816 Total:	500.00			
	Kayak Chicago Total:	500.00			
Klepadlo, Ed KLEPADIO 7/10-7/31	7/26/2016	144.00	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
205-540-515-5615 Awards					Payment for umpire services
	7/10-7/31 Total:	144.00			
	Klepadlo, Ed Total:	144.00			
Kohn, Adi KOHNALI 082416	8/24/2016	25.00	0.00	09/06/2016	Refund - Private swim lessons
205-000-210-2430 Parks and Recs Control Deposi					
	082416 Total:	25.00			
	Kohn, Adi Total:	25.00			
Lowe's Business Acc/GECF LOWES 2371	8/12/2016	95.73	0.00	09/06/2016	Pool cleaning supplies
205-560-515-5730 Program supplies					
	2371 Total:	95.73			
2862	8/17/2016	191.70	0.00	09/06/2016	Bathroom stall door hooks
205-560-515-5405 R&M - buildings					
	2862 Total:	191.70			
	Lowe's Business Acc/GEC	287.43			
Maniscalco, Anthony MANISCAA 7/10-7/31	7/26/2016	72.00	0.00	09/06/2016	Payment for umpiring services
205-540-515-5615 Awards					
	7/10-7/31 Total:	72.00			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
	Maniscalco, Anthony Total	72.00			
Marc Printing MARCP 110531	8/26/2016	371.21	0.00	09/06/2016	
660-610-519-5720 Postage					Mailing of Water bills - August 2016
	110531 Total:	371.21			
CYC1&CYC4	8/26/2016	918.85	0.00	09/06/2016	
660-610-519-5720 Postage					Mailing of Water Bills
	CYC1&CYC4 Total:	918.85			
	Marc Printing Total:	1,290.06			
North Suburban Employee Benefit NSEBENEF September, 2016	8/15/2016	10,518.00	0.00	09/06/2016	
102-000-210-2028 Dental insurance premium with					Dental Bill - September 2016
	September, 2016 Total:	10,518.00			
	North Suburban Employee	10,518.00			
Northern Illinois Police Alarm System NTILPALS 11043	8/19/2016	12.50	0.00	09/06/2016	
101-300-512-5580 Telephone					Language Line - July 2016
	11043 Total:	12.50			
	Northern Illinois Police Al	12.50			

PEP Boys

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
PEPBOYS				
04791058868	8/24/2016	170.00	0.00	09/06/2016
101-350-512-5740	Repair parts			Car batteries 1512
	04791058868 Total:	170.00		
	PEP Boys Total:	170.00		
Schuham Builder's Supply Inc				
SCHUHAM				
49207	8/11/2016	68.46	0.00	09/06/2016
205-571-515-5535	Facility rental			Community Center Door repairs
	49207 Total:	68.46		
49236	8/15/2016	62.24	0.00	09/06/2016
205-560-515-5405	R&M - buildings			Soap dispenser - Locker room shower
	49236 Total:	62.24		
49244	8/16/2016	53.38	0.00	09/06/2016
205-571-515-5535	Facility rental			Community Center Door repairs
	49244 Total:	53.38		
	Schuham Builder's Supply	184.08		
Schwartz, Morrie				
SCHWARTM				
7/10-7/31	7/26/2016	258.00	0.00	09/06/2016
205-540-515-5615	Awards			Payment for umpiring services
	7/10-7/31 Total:	258.00		
	Schwartz, Morrie Total:	258.00		

The Fun Ones

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
THEFUN					
50350	7/6/2016	415.00	0.00	09/06/2016	
205-504-515-5270					Purchased program services Touch A Truck
	50350 Total:	415.00			
	The Fun Ones Total:	415.00			
The Peace School					
THEPEACE					
733	8/20/2016	711.20	0.00	09/06/2016	
205-503-515-5270					Purchased program services Peace Yoga
	733 Total:	711.20			
	The Peace School Total:	711.20			
U.S. FoodService, Inc.					
USFOODSE					
1874122	8/20/2016	567.41	0.00	09/06/2016	
205-563-515-5645					Concessions & food Concession stand food
	1874122 Total:	567.41			
	U.S. FoodService, Inc. Tot	567.41			
Verizon Wireless					
VERIZON					
9769525063	8/1/2016	90.10	0.00	09/06/2016	
660-610-519-5580					Telephone Machine to Machine 150 MB
	9769525063 Total:	90.10			
	Verizon Wireless Total:	90.10			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	
Account Number					Description
Village of Lincolnwood					
VOL					
PC082516	8/25/2016	57.98	0.00	09/06/2016	
205-530-515-5590 Training					Petty Cash reimbursment
PC082516	8/25/2016	39.98	0.00	09/06/2016	
205-560-515-5700 Office supplies					Petty Cash reimbursment
PC082516	8/25/2016	82.52	0.00	09/06/2016	
101-210-511-5720 Postage					Petty Cash reimbursment
PC082516	8/25/2016	66.59	0.00	09/06/2016	
101-100-511-5840 Meals					Petty Cash reimbursment
PC082516	8/25/2016	34.00	0.00	09/06/2016	
101-200-511-5700 Office supplies					Petty Cash reimbursment
PC082516	8/25/2016	32.00	0.00	09/06/2016	
205-570-515-5645 Concessions & food					Petty Cash reimbursment
PC082516	8/25/2016	41.10	0.00	09/06/2016	
101-210-511-5820 Local mileage, parking & tolls					Petty Cash reimbursment
PC082516	8/25/2016	13.51	0.00	09/06/2016	
101-240-517-5820 Local mileage, parking & tolls					Petty Cash reimbursment
PC082516	8/25/2016	18.00	0.00	09/06/2016	
101-240-517-5590 Training					Petty Cash reimbursment
PC082516	8/25/2016	21.98	0.00	09/06/2016	
101-200-511-5840 Meals					Petty Cash reimbursment
PC082516	8/25/2016	11.05	0.00	09/06/2016	
101-200-511-5560 Printing & copying services					Petty Cash reimbursment
PC082516	8/25/2016	22.30	0.00	09/06/2016	
101-210-511-5820 Local mileage, parking & tolls					Petty Cash reimbursment
PC082516	8/25/2016	161.90	0.00	09/06/2016	
101-200-511-5799 Other materials & supplies					Petty Cash reimbursment
PC082516	8/25/2016	50.00	0.00	09/06/2016	
101-200-511-5840 Meals					Petty Cash reimbursment
PC082516	8/25/2016	145.91	0.00	09/06/2016	
101-210-511-5840 Meals					Petty Cash reimbursment
	PC082516 Total:	798.82			
	Village of Lincolnwood To	798.82			

Warehouse Direct

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
WAREHOUS				
3151897-0	8/5/2016	75.36	0.00	09/06/2016
101-210-511-5700				Office supplies
	3151897-0 Total:	75.36		
3157293-0	8/11/2016	68.03	0.00	09/06/2016
101-240-511-5700				Office supplies
	3157293-0 Total:	68.03		
3157302-0	8/11/2016	214.67	0.00	09/06/2016
101-350-512-5700				Office supplies
	3157302-0 Total:	214.67		
3157317-0	8/11/2016	266.52	0.00	09/06/2016
101-210-511-5700				Office supplies
	3157317-0 Total:	266.52		
	Warehouse Direct Total:	624.58		
Washburn Machinery				
WASHBURN				
113483	8/23/2016	293.43	0.00	09/06/2016
101-350-512-5499				R&M - other
	113483 Total:	293.43		
	Washburn Machinery Total	293.43		
Zoll Data System				
ZOLLDATA				
9029371	8/16/2016	1,017.50	0.00	09/06/2016
101-350-512-5330				Data processing
	9029371 Total:	1,017.50		Rescue net maintenance for ambulance billing

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description

Zoll Data System Total:		1,017.50		
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Zoll Medical Corporation GPO

ZOLLMEDC

2412927	8/12/2016	39.36	0.00	09/06/2016
101-350-512-5660 EMS supplies				Zoll monitor paper

2412927 Total:		39.36		
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2413725	8/16/2016	420.00	0.00	09/06/2016
101-350-512-5660 EMS supplies				CPR stat pads

2413725 Total:		420.00		
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Zoll Medical Corporation G		459.36		
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Report Total:		34,466.42		
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Accounts Payable

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Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
Anderson Lock				
ANDERSON				
918754	8/22/2016	62.60	0.00	09/06/2016
101-440-513-5730				Program supplies Keys for Forestry
	918754 Total:	62.60		
918962	8/23/2016	15.20	0.00	09/06/2016
101-420-511-5405				R&M - buildings Keys for Buildings
	918962 Total:	15.20		
	Anderson Lock Total:	77.80		
ARRP Trucking & Hauling Inc				
ARRP				
21024	8/16/2016	9,360.00	0.00	09/06/2016
217-000-561-6100				Land acquisition & improveme 26 loads of woodchips
	21024 Total:	9,360.00		
21031	8/17/2016	1,440.00	0.00	09/06/2016
217-000-561-6100				Land acquisition & improveme 4 loads woodchips
	21031 Total:	1,440.00		
	ARRP Trucking & Hauling	10,800.00		

Builders Asphalt

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
BUILDERS					
18638	8/3/2016	258.44	0.00	09/06/2016	213-000-561-5490 R&M Road Repairs Recycled surface
18638 Total:		258.44			
18710	8/8/2016	463.32	0.00	09/06/2016	213-000-561-5490 R&M Road Repairs Recycled surface
18710 Total:		463.32			
18721	8/9/2016	463.32	0.00	09/06/2016	213-000-561-5490 R&M Road Repairs Recycled surface
18721 Total:		463.32			
18788	8/10/2016	464.88	0.00	09/06/2016	213-000-561-5490 R&M Road Repairs Recycled surface
18788 Total:		464.88			
18801	8/11/2016	104.00	0.00	09/06/2016	213-000-561-5490 R&M Road Repairs Recycled surface
18801 Total:		104.00			
Builders Asphalt Total:		1,753.96			
Canon Solutions America, Inc					
CANONSOL					
902464552	6/27/2016	244.98	0.00	09/06/2016	101-240-517-5570 Professional associations Maint kit TCS300-500
902464552 Total:		244.98			
Canon Solutions America,		244.98			

Golf Mill Ford
GOLFMILL

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
403184P	8/19/2016	52.88	0.00	09/06/2016
101-300-512-5480 R&M - vehicles				Tube assembly
	403184P Total:	52.88		
	Golf Mill Ford Total:	52.88		
Grainger				
GRAINGER				
9201195105	8/19/2016	484.60	0.00	09/06/2016
101-440-513-5480 R&M - vehicles				Gauge for Tractor #6
	9201195105 Total:	484.60		
	Grainger Total:	484.60		
Johnstone Supply				
JOHNSTON				
1010650A	8/22/2016	117.50	0.00	09/06/2016
660-620-519-5405 R&M - buildings				Contractor for Pump House
	1010650A Total:	117.50		
	Johnstone Supply Total:	117.50		
Kraft, Aaron				
KRAFTAA				
082516	8/25/2016	2,000.00	0.00	09/06/2016
460-000-561-6350 Sewer Fund				Flood Control Reimbursement
	082516 Total:	2,000.00		
150003	8/26/2016	3,000.00	0.00	09/06/2016
101-000-210-2620 Contractor bonds payable				Refund - Site Development
	150003 Total:	3,000.00		

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
		5,000.00		
Kraft, Aaron Total:				
Lawson Products Inc				
LAWSNPRO				
9304304719	8/16/2016	213.22	0.00	09/06/2016
101-410-511-5730 Program supplies				Shop supplies for PW Shop
		213.22		
9304304719 Total:				
		213.22		
Lawson Products Inc Total				
Lowe's Business Acc/GECE				
LOWES				
14335	8/23/2016	33.86	0.00	09/06/2016
660-620-519-5730 Program supplies				Propane Tank exchange
		33.86		
14335 Total:				
		33.86		
2763	8/16/2016	80.31	0.00	09/06/2016
205-430-515-5730 Program supplies				Shovel
		80.31		
2763 Total:				
		80.31		
2863	8/17/2016	2.83	0.00	09/06/2016
101-420-511-5730 Program supplies				Shovel
		2.83		
2863 Total:				
		2.83		
2968	8/18/2016	8.36	0.00	09/06/2016
101-440-513-5730 Program supplies				Screws
		8.36		
2968 Total:				
		8.36		
9198	8/12/2016	6.63	0.00	09/06/2016
101-440-513-5730 Program supplies				Shovel
		6.63		
9198 Total:				
		6.63		

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
	Lowe's Business Acc/GEC	131.99			
Mac Millin Hydraulic Engineering MACMILL					
181489	8/22/2016	117.87	0.00	09/06/2016	Cap, plugs for Tractor #16
205-430-515-5480 R&M - vehicles					
	181489 Total:	117.87			
	Mac Millin Hydraulic Engi	117.87			
Martin Implement Sales Inc MARTINIM					
P02409	8/19/2016	349.95	0.00	09/06/2016	Hose, belts, tube for Trucks 3,4 & 5
101-440-513-5480 R&M - vehicles					
	P02409 Total:	349.95			
	Martin Implement Sales In	349.95			
McKenna Automotive MCKENNA					
14388	8/24/2016	57.32	0.00	09/06/2016	Hydraulic Fittings
101-440-513-5480 R&M - vehicles					
	14388 Total:	57.32			
	McKenna Automotive Tota	57.32			
Orange Crush LLC ORANGCRH					
13049	8/19/2016	228.00	0.00	09/06/2016	Asphalt surface mix
213-000-561-5490 R&M Road Repairs					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
13049 Total:		228.00			
Orange Crush LLC Total:		228.00			
PPG Architectural Finishes					
PPGAR					
944403067907	5/10/2016	1,013.60	0.00	09/06/2016	
101-440-513-5745 Small tools					Ten gallons of yellow paint
944403067907 Total:		1,013.60			
PPG Architectural Finishes		1,013.60			
ProSafety					
PROSAFET					
2/826350	7/31/2016	137.15	0.00	09/06/2016	
101-440-513-5070 Uniform allowance					Clothing Allowance
2/826350	7/31/2016	167.20	0.00	09/06/2016	
101-410-511-5070 Uniform allowance					Clothing Allowance
2/826350	7/31/2016	99.90	0.00	09/06/2016	
205-430-515-5070 Uniform allowance					Clothing Allowance
2/826350	7/31/2016	268.50	0.00	09/06/2016	
660-620-519-5070 Uniform allowance					Clothing Allowance
2/826350 Total:		672.75			
2/826380	7/31/2016	399.60	0.00	09/06/2016	
101-440-513-5070 Uniform allowance					Clothing Allowance
2/826380 Total:		399.60			
2-826390	7/31/2016	431.75	0.00	09/06/2016	
660-620-519-5070 Uniform allowance					Clothing Allowance
2-826390 Total:		431.75			

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description
	ProSafety Total:	1,504.10		
Raubolt, Megan RAUBOLT				
082416	8/24/2016	921.42	0.00	09/06/2016
101-000-110-1010 Payroll Chkg Acct-BOL				Payroll check 7/31 thru 8/13
	082416 Total:	921.42		
	Raubolt, Megan Total:	921.42		
Ray, David RAYDAVID				
082516	8/25/2016	2,000.00	0.00	09/06/2016
460-000-561-6350 Sewer Fund				Flood control reimbursement program
	082516 Total:	2,000.00		
	Ray, David Total:	2,000.00		
Russo Power Equipment RUSSO				
3403983	8/24/2016	99.99	0.00	09/06/2016
660-620-519-5730 Program supplies				Ear Plug
	3403983 Total:	99.99		
	Russo Power Equipment T	99.99		
Stride Awards STRIDE				
1141	8/26/2016	4,089.00	0.00	09/06/2016
205-509-515-5730 Program supplies				Turkey Trot medals

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Description
Account Number					
	1141 Total:	4,089.00			
	Stride Awards Total:	4,089.00			
Westmont Auto Parts					
WESTMONT					
13524	8/17/2016	188.68	0.00	09/06/2016	
101-300-512-5480 R&M - vehicles					Pads and rotors for Squad #214
	13524 Total:	188.68			
	Westmont Auto Parts Total	188.68			
Work' N Gear, LLC					
WRKNGEAR					
HA65255	8/8/2016	77.25	0.00	09/06/2016	
101-440-513-5070 Uniform allowance					Clothing allowance
	HA65255 Total:	77.25			
HA65256	8/8/2016	73.00	0.00	09/06/2016	
101-440-513-5070 Uniform allowance					Clothing allowance
	HA65256 Total:	73.00			
HA65257	8/8/2016	36.49	0.00	09/06/2016	
101-440-513-5070 Uniform allowance					Clothing allowance
HA65257	8/8/2016	109.49	0.00	09/06/2016	
660-620-519-5070 Uniform allowance					Clothing allowance
	HA65257 Total:	145.98			
HA65560	8/16/2016	115.25	0.00	09/06/2016	
101-440-513-5070 Uniform allowance					Clothing allowance
	HA65560 Total:	115.25			
HA65561	8/16/2016	-4.50	0.00	09/06/2016	

Invoice Number	Invoice Date	Amount	Quantity	Payment Date
Account Number				Description

101-440-513-5070	Uniform allowance			Clothing allowance
	HA65561 Total:	-4.50		
HA65565	8/16/2016	114.99	0.00	09/06/2016
660-620-519-5070	Uniform allowance			Clothing allowance
	HA65565 Total:	114.99		
	Work' N Gear, LLC Total:	521.97		
	Report Total:	29,968.83		

Request for Board Action

REFERRED TO BOARD: September 6, 2016

AGENDA ITEM NO: 1

ORIGINATING DEPARTMENT: Community Development

SUBJECT: Approval of a Recommendation by the Plan Commission in Case #PC-14-16 to Adopt an Ordinance Granting Verizon Wireless a Special Use Permit for the Construction of Personal Wireless Service Facilities on an Existing Freestanding Tower at 7017 North Central Park Avenue

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

Verizon Wireless, through Agent Jim Moser, is seeking Special Use authorization to install new antennas on the existing freestanding tower located at 7017 North Central Park Avenue. American Tower Corporation is the owner and operator of this existing 100-foot-tall freestanding tower, located near the Village's water tower. Verizon's proposal includes the elimination of their current antenna array installed on the tower at approximately 30 feet above grade.

The antenna array proposed by Verizon would be installed at a center point approximately 88 feet above grade. In addition to the new antenna array proposed on the existing tower, Verizon would install new ground equipment to be mounted on a steel platform at the base of the tower within the existing fenced area. The subject property is within the M-B Manufacturing/Business District and the Zoning Code requires Special Use authorization for all wireless facilities in the M-B District.

Public Hearing

A Public Hearing on this matter was held by the Plan Commission on August 24, 2016. Mr. Moser testified that the location of the new equipment is necessary in order to improve coverage and quality of service to their wireless customers in the area. Mr. Moser indicated that the location of the current equipment is inadequate and that Verizon is performing similar relocations of antennas at many sites. Mr. Moser stated that the "small cell technology" used in the current installation has not been effective in eliminating dropped or missed calls.

There was no one present to speak on the matter.

Plan Commission Recommendation

In considering this matter, the Plan Commission concurred with the findings submitted by the applicant and, by a 6-0 vote, recommends approval of the Special Use to permit the installation of new wireless antennas at 88 feet above grade on the existing freestanding tower as well as the installation of new ground equipment on a steel platform.

Attached is the proposed Ordinance to approve the requested Special Use, consistent with the unanimous recommendation of the Plan Commission.

FINANCIAL IMPACT:

None

DOCUMENTS ATTACHED:

1. Proposed Ordinance
2. August 24, 2016 Plan Commission Minutes Excerpt (Draft)
3. August 24, 2016 Staff Report to Plan Commission
4. Ordinance No. 2014-3097
5. May 7, 2014 Plan Commission Minutes Excerpt
6. Special Use Public Hearing Application
7. Drawings Prepared by Edge Consulting Engineers, Inc. (Revised 8/17/16)

RECOMMENDED MOTION:

Move to approve with the recommendation of the Plan Commission in Case #PC-14-16 and approve an Ordinance granting Special Use approval for the installation of new wireless antennas on the existing freestanding tower and the installation of ground equipment at 7017 North Central Park Avenue.

THIS SPACE FOR RECORDERS USE ONLY

VILLAGE OF LINCOLNWOOD

ORDINANCE NO. 2016-_____

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT
FOR THE CONSTRUCTION OF PERSONAL WIRELESS SERVICE FACILITIES**

(7017 North Central Park Avenue)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LINCOLNWOOD
THIS _____ DAY OF _____, 2016.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Lincolnwood,
Cook County, Illinois this
_____ day of _____, 2016

Village Clerk

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT
FOR THE CONSTRUCTION OF PERSONAL WIRELESS SERVICE FACILITIES**

(7017 North Central Park Avenue)

WHEREAS, the Village is the record title owner of that certain property located in the MB Light Manufacturing/Business District ("**MB District**"), commonly known as 7017 North Central Park Avenue, and legally described in **Exhibit A** attached to and, by this reference, made a part of this Ordinance ("**Property**"); and

WHEREAS, the Property is currently improved with a 100-foot-high self-supporting lattice tower ("**Tower**"); and

WHEREAS, on June 3, 2014, the Village President and Board of Trustees approved Ordinance No. 2014-3097, granting a special use permit to the Chicago SMSA Limited Partnership d/b/a Verizon Wireless ("**Applicant**") for the construction of personal wireless service facilities on the Tower (collectively, the "**Existing Facilities**"); and

WHEREAS, the Applicant now desires to remove the Existing Facilities from the Tower, and to install new antennas and additional personal wireless service facilities on the Tower (collectively, the "**Proposed Facilities**"); and

WHEREAS, pursuant to Section 10.04(1) of the "The Village of Lincolnwood Zoning Ordinance," as amended ("**Zoning Ordinance**"), personal wireless service facilities may not be constructed or installed in the M-B District except upon issuance of a special use permit by the Board of Trustees; and; and

WHEREAS, in order to allow the construction and use of the Proposed Facilities on the Property, the Applicant, with the consent of the Owner of the Tower, has filed an application for a special use permit to allow the installation of the Proposed Facilities on the Property ("**Requested Special Use Permit**"); and

WHEREAS, a public hearing of the Plan Commission of the Village of Lincolnwood to consider approval of the Requested Special Use Permit was duly advertised in the *Lincolnwood Review* on August 4, 2016, and held on August 24, 2016; and

WHEREAS, on August 24, 2016, the Plan Commission made findings and recommendations in support of the Requested Special Use Permit, subject to specified conditions; and

WHEREAS, the Village President and Board of Trustees have determined that the Requested Special Use Permit meets the required standards for special use permits as set forth in Articles V and X of the Zoning Ordinance; and

WHEREAS, the Village President and Board of Trustees have determined that it will serve and be in the best interests of the Village to grant the Requested Special Use Permit, subject to the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. APPROVAL OF SPECIAL USE PERMIT. In accordance with, and pursuant to, Article V of the Zoning Ordinance and the home rule powers of the Village, and subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 3 of this Ordinance, the Village President and Board of Trustees hereby grant a special use permit to the Applicant for the construction and use of the Proposed Facilities on the Property.

SECTION 3. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Ordinance, the approval granted pursuant to Section 2 of this Ordinance is hereby expressly subject to, and contingent upon, the development, use, and maintenance of the Proposed Facilities, the Tower, and the Property in compliance with each and all of the following conditions:

- A. Compliance with Laws. Except to the extent specifically provided otherwise in this Ordinance, the development, use, operation, and maintenance of the Proposed Facilities, the Tower, and the Property must comply at all times with all applicable Village codes and ordinances, as the same have been or may be amended from time to time.
- B. Compliance with Plans. Except for minor changes and site work approved by the Village Zoning Officer or the Village Engineer (for matters within their respective permitting authorities) in accordance with all applicable Village standards, the development, use, operation, and maintenance of the Proposed Facilities, the Tower, and the Property must comply with these certain plans consisting of 31 sheets and prepared by Edge Consulting Engineers, Inc., with a latest revision date of August 17, 2016, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit B** (“*Plans*”).
- C. Surety Bond. In accordance with Section 10.08(2)(vi) of the Zoning Ordinance, the Applicant must deposit with the Village a surety bond in the amount of \$10,000, in a form approved by the Village Attorney, as security for the removal of the Proposed Facilities.
- D. Reimbursement of Village Costs. In addition to any other costs, payments, fees, charges, contributions, or dedications required under applicable Village codes, ordinances, resolutions, rules, or regulations, the Applicant must pay to the Village, promptly upon presentation of a written demand or demands therefor, all legal fees, costs, and expenses incurred or accrued in connection with the review, negotiation, preparation, consideration, and review of this Ordinance. Payment of all such fees, costs, and expenses for which demand has been made must be made by a certified or cashier's check. Further, the Applicant must pay upon demand

all costs incurred by the Village for publications and recordings required in connection with the aforesaid matters.

SECTION 4. REPEALER. Ordinance No. 2014-3097 is hereby repealed in its entirety, and hereafter is of no force or effect.

SECTION 5. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded with the Cook County Recorder of Deeds. This Ordinance and the privileges, obligations, and provisions contained herein inure solely to the benefit of, and are binding upon, the Owner, the Applicant, and each of their heirs, representatives, successors, and assigns.

SECTION 6. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Owner or the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, as applicable, the approval granted in Section 2 of this Ordinance may, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approval granted in Section 2 of this Ordinance unless they first provide the Owner and the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of revocation, the development and use of the Property will be governed solely by the regulations of the M-B District, and the applicable provisions of the Zoning Ordinance, as the same may, from time to time, be amended. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances.

SECTION 7. AMENDMENTS. Any amendments to the approval granted in Section 2 of this Ordinance that may be requested after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance.

SECTION 8. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance are to remain in full force and effect, and are to be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 9. EFFECTIVE DATE.

- A. This Ordinance will be effective only upon the occurrence of all of the following events:
1. Passage by the Village President and Board of Trustees in the manner required by law;
 2. Publication in pamphlet form in the manner required by law;

3. The posting by the Applicant of the surety bond required pursuant to Section 3.C of this Ordinance; and
 4. The filing by the Owner and the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of **Exhibit C** attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance.
- B. In the event the Owner or the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 9.A.4 of this Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED this ___ day of September, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTENTION: _____

APPROVED by me this ___ day of September, 2016.

Lawrence A. Elster, President Pro-Tem
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
_____ day of September, 2016

Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

That part of Lot 5 in Andrew Barkules and Sons Subdivision in the Northwest Quarter of the Northeast Quarter of Section 35, Township 41, North, Range 13, East of the Third Principle Meridian, said Andrew Barkules and Sons Subdivision recorded on June 24, 1966 as Document No. 19867378, bounded and described as follows: Commencing at the most southwesterly corner of said Lot 5; thence North 00 degrees, 01 minutes, 30 seconds west, being an assumed bearing on the west line of the Northwest Quarter of the Northeast Quarter of said Section 35, also being the most westerly line of said Lot 5, a distance of 57.32-feet to the intersection with the southeasterly right-of-way line of Chicago and Northwestern Railway; thence north 22 degrees, 4 minutes, 3 seconds east on the southeasterly right-of-way line of said Chicago and Northwestern Railway, also being the Northwesterly line of said Lot 5, a distance of 107-feet to the point of beginning; thence south 67 degrees, 55 minutes, 30 seconds east a distance of 40-feet; thence north 22 degrees, 4 minutes, 30 seconds east a distance of 40-feet; thence north 67 degrees, 55 minutes, 30 seconds west a distance of 40.0 feet; thence south 22 degrees, 4 minutes, 30 seconds west a distance of 40.0-feet to the point of beginning, all in Cook County, Illinois.

Commonly known as: 7017 North Central Park Avenue, Lincolnwood, Illinois

P.I.N.: 10-35-200-040-0000

EXHIBIT B

PLANS

EXHIBIT C

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Lincolnwood, Illinois ("***Village***");

WHEREAS, the Village is the record title owner of that certain property located in the MB Light Manufacturing/Business District and commonly known as 7017 North Central Park Avenue, in the Village ("***Property***"); and

WHEREAS, Ordinance No. 2016-_____, adopted by the Village President and Board of Trustees on _____, 2016 ("***Ordinance***"), grants a special use permit to Chicago SMSA Limited Partnership d/b/a Verizon Wireless ("***Applicant***") for the construction and use of personal wireless service facilities on the Property; and

WHEREAS, Section 9 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Owner and the Applicant shall have filed, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Owner and Applicant do hereby agree and covenant as follows:

1. The Owner and the Applicant hereby unconditionally agree to accept, consent to, and abide by each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.

2. The Owner and the Applicant acknowledge that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.

3. The Owner and the Applicant acknowledge and agree that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of a special use permit for the Property or its adoption of the Ordinance, and that the Village's approvals do not, and will not, in any way, be deemed to insure the Owner or the Applicant against damage or injury of any kind and at any time.

4. The Owner and the Applicant hereby agree to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Ordinance granting the special use permit for the Property.

Dated: _____, 2016

ATTEST:

**CHICAGO SMSA LIMITED
PARTNERSHIP d/b/a VERIZON
WIRELESS**

By: _____
Its: _____

By: _____
Its: _____

Ms. Sara Joe, 3806 West Devon Avenue, is concerned that 150 feet is not enough distance from their residence and asked if there would be flexibility to extend the distance. Mr. Frank said there is flexibility and the sirens are only used if they are necessary to go through red lights and heavy traffic. Mr. Frank said that they respond to two calls per night on average.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Let the record state that no one came forward.

Motion to recommend approval for Commissioner Pauletto and seconded by Commissioner Novoselsky for an emergency medical service to operate 24 hours a day, not be used for residential purposes, and to include the prohibition of sirens between the hours of 11:00 p.m. to 7:00 a.m. within 250 feet of residential uses.

Aye: Pauletto, Novoselsky, Fishman, Goldfein, Sampen, and Yohanna

Nay: None

Motion Approved: 6-0

VI. Case #PC-14-16: Public Hearing: 7017 North Central Park Avenue – Special Use

Chairman Yohanna announced Case #PC-14-16 to recommend relocating a wireless antenna on an existing tower. Chairman Yohanna swore in the Petitioner Mr. Jim Moser.

Development Manager Cook outlined the request for relocating wireless communication equipment on an existing freestanding tower. The existing tower is located at 7017 North Central Park Avenue in the M-B Manufacturing/Business District. Special Use approval is required for all new wireless communication facilities. There is an existing 110-foot freestanding tower with an existing carrier located at the top. Verizon has existing equipment at 30 feet above grade which was approved by the Village Board in June 2014 and would like to remove this equipment and reinstalled at 88 feet above grade.

Mr. Moser stated that Verizon's coverage will increase due to the higher elevation. The tower will stay aesthetically the same.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Let the record state that no one came forward.

Motion to recommend approval was made by Commissioner Sampen and seconded by Commissioner Fishman.

Aye: Sampen, Fishman, Goldfein, Novoselsky, Pauletto, and Yohanna

Nay: None

Motion Approved: 6-0

VII. Other Business

Commissioner Novoselsky asked staff if a Special Use request's timeframe could be extended for a year instead of six months. Commissioner Fishman asked for an update on the Comprehensive Plan, the Dominick's site, and Begyle Brewing. Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Let the record state that no one came forward.



Plan Commission Staff Report

Case #PC-14-16

August 24, 2016

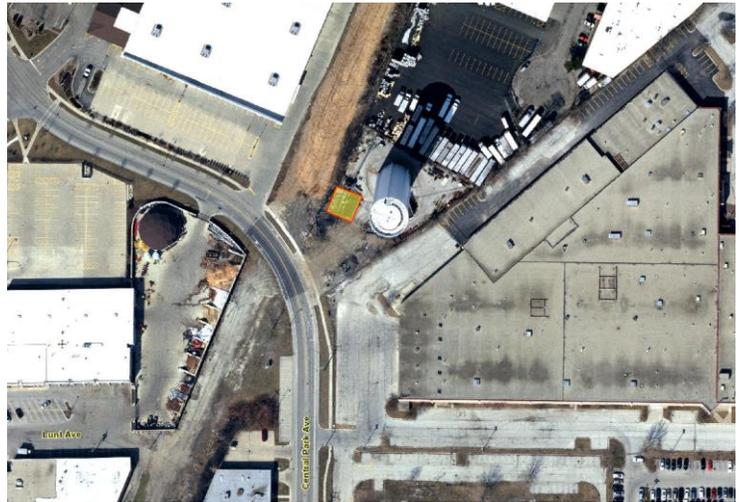
Subject Property:

7017 North Central Park Avenue

Zoning District: M-B Light
Industrial/Business District

Petitioner: Jim Moser, AICP as Agent
for Verizon Wireless, Tenant

Nature of Request: The Petitioner
seeks Special Use approval to relocate
wireless equipment on an existing
freestanding tower.



Notification: Notice in Lincolnwood Review August 4, 2016, Public Hearing Sign Installed at 7017 North Central Park Avenue, and Mailed Legal Notices Dated August 3, 2016 to Properties within 250 Feet.

Summary of Request

Verizon Wireless is seeking Special Use authorization in order to install new wireless antennas at a center-point approximately 88 feet above grade on an existing telecommunications tower. Included in the scope of work is the removal of Verizon's existing wireless equipment installed at 30 feet above grade. The existing American Tower Corporation freestanding tower at 7017 North Central Park Avenue is located adjacent to the Village's water tank and behind Lowe's Home Improvement. By removing and installing new equipment, Verizon's project triggers the requirement for a Special Use.

The center-point of the new antennas will be installed approximately 88 feet above grade on the existing 100-foot steel lattice tower (shown on page A-1). The new equipment, mounted to the existing tower, will include 21 various antenna types. The antennas will be supported by ground equipment located at the base of the tower within the existing fenced compound (shown on pages C-2 & C-3). Verizon proposes new ground equipment to be mounted on a steel platform at the base of the tower. The existing tower facility also includes an existing wireless site at the top of the existing tower with ground equipment located within a shelter.

Previous Consideration: In spring 2014, Verizon filed for Special Use approval to install a wireless service facility mounted at 30 feet above grade on the existing tower at 7017 North Central Park Avenue. Their request was heard by the Plan Commission at the May 7, 2014 meeting (minutes attached).

The Plan Commission received testimony from the Petitioner who indicated that the new equipment was necessary in order to improve coverage and quality of service to their wireless customers in the area. The Petitioner stated that the relatively low height of the proposed antenna, 30 feet above grade, was due to “small cell technology” which was becoming more common in areas lacking tall towers. The Petitioner stated that the technology would help alleviate dropped calls.

Mr. Stan Wilk of the Village’s Telecommunications Advisory Commission, was present and advised the Plan Commission that he was present to observe and that he did not have objections to the application. No other public testimony was received.

The Plan Commission, by a 6-0 vote, forwarded to the Village Board a recommendation to approve the requested Special Use to permit Verizon to install new wireless communication equipment at approximately 30 feet above grade on the existing tower at 7017 North Central Park Avenue. The Village Board concurred with the Plan Commission’s recommendation, and Verizon’s request was approved via Special Use Ordinance No. 2014-3097 in June 2014.

Verizon Wireless is now required to obtain a Special Use due to new location and additional antenna/equipment being installed at the existing freestanding tower.

Related Village Action

Since 2009, the Village has reviewed and approved five new wireless facilities (all co-location on existing structures) and one replacement/upgrade to a wireless facility. Staff does not have concern with the existing site as there are no records of complaints associated with the freestanding tower or the wireless equipment.

Documents Attached

1. Ordinance No. 2014-3097
2. May 7, 2014 Minutes Excerpt
3. Special Use Public Hearing Application
4. Drawings Prepared by Edge Consulting Engineers, Inc. (Revised 8/17/16)

Documents Available Upon Request

1. Structural Analysis Report



Doc#: 1416916045 Fee: \$80.00
Karen A. Yarbrough
Cook County Recorder of Deeds
Date: 06/18/2014 12:27 PM Pg: 1 of 22

THIS SPACE FOR RECORDERS USE ONLY

VILLAGE OF LINCOLNWOOD

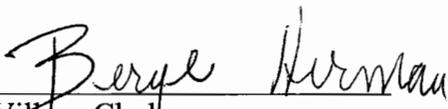
ORDINANCE NO. 2014-3097

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT
FOR THE CONSTRUCTION OF PERSONAL WIRELESS SERVICE FACILITIES**

(7017 North Central Park Avenue)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LINCOLNWOOD
THIS 3rd DAY OF JUNE, 2014.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Lincolnwood,
Cook County, Illinois this
3rd day of June, 2014


Village Clerk

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT
FOR THE CONSTRUCTION OF PERSONAL WIRELESS SERVICE FACILITIES**

(7017 North Central Park Avenue)

WHEREAS, the Village is the record title owner of that certain property located in the MB Light Manufacturing/Business District ("***MB District***"), commonly known as 7017 North Central Park Avenue, and legally described in **Exhibit A** attached to and, by this reference, made a part of this Ordinance ("***Property***"); and

WHEREAS, the Property is currently improved with a 100-foot-high self-supporting lattice tower ("***Tower***"); and

WHEREAS, the Chicago SMSA Limited Partnership d/b/a Verizon Wireless ("***Applicant***") desires to install new antennas and additional personal wireless service facilities on the Tower (collectively, the "***Proposed Facilities***"); and

WHEREAS, pursuant to Section 10.04(1) of the "The Village of Lincolnwood Zoning Ordinance," as amended ("***Zoning Ordinance***"), personal wireless service facilities may not be constructed or installed in the M-B District except upon issuance of a special use permit by the Board of Trustees; and; and

WHEREAS, in order to allow the construction and use of the Proposed Facilities on the Property, the Applicant, with the consent of the Owner of the Tower, has filed an application for a special use permit to allow the installation of the Proposed Facilities on the Property ("***Requested Special Use Permit***"); and

WHEREAS, a public hearing of the Plan Commission of the Village of Lincolnwood to consider approval of the Requested Special Use Permit was duly advertised in the *Lincolnwood Review* on April 17, 2014, and held on May 7, 2014; and

WHEREAS, on May 7, 2014, the Plan Commission made findings and recommendations in support of the Requested Special Use Permit, subject to specified conditions; and

WHEREAS, the Village President and Board of Trustees have determined that the Requested Special Use Permit meets the required standards for special use permits as set forth in Articles V and X of the Zoning Ordinance; and

WHEREAS, the Village President and Board of Trustees have determined that it will serve and be in the best interests of the Village to grant the Requested Special Use Permit, subject to the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. APPROVAL OF SPECIAL USE PERMIT. In accordance with, and pursuant to, Article V of the Zoning Ordinance and the home rule powers of the Village, and subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 3 of this Ordinance, the Village President and Board of Trustees hereby grant a special use permit to the Applicant for the construction and use of the Proposed Facilities on the Property.

SECTION 3. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Ordinance, the approval granted pursuant to Section 2 of this Ordinance is hereby expressly subject to, and contingent upon, the development, use, and maintenance of the Proposed Facilities, the Tower, and the Property in compliance with each and all of the following conditions:

- A. Compliance with Laws. Except to the extent specifically provided otherwise in this Ordinance, the development, use, operation, and maintenance of the Proposed Facilities, the Tower, and the Property must comply at all times with all applicable Village codes and ordinances, as the same have been or may be amended from time to time.
- B. Compliance with Plans. Except for minor changes and site work approved by the Village Zoning Officer or the Village Engineer (for matters within their respective permitting authorities) in accordance with all applicable Village standards, the development, use, operation, and maintenance of the Proposed Facilities, the Tower, and the Property must comply with these certain plans consisting of 12 sheets and prepared by Edge Consulting Engineers, Inc., with a latest revision date of March 11, 2014, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit B** (“*Plans*”).
- C. Surety Bond. In accordance with Section 10.08(2)(vi) of the Zoning Ordinance, the Applicant must deposit with the Village a surety bond in the amount of \$10,000, in a form approved by the Village Attorney, as security for the removal of the Proposed Facilities.
- D. Reimbursement of Village Costs. In addition to any other costs, payments, fees, charges, contributions, or dedications required under applicable Village codes, ordinances, resolutions, rules, or regulations, the Applicant must pay to the Village, promptly upon presentation of a written demand or demands therefor, all legal fees, costs, and expenses incurred or accrued in connection with the review, negotiation, preparation, consideration, and review of this Ordinance. Payment of all such fees, costs, and expenses for which demand has been made must be made by a certified or cashier's check. Further, the Applicant must pay upon demand all costs incurred by the Village for publications and recordings required in connection with the aforesaid matters.

SECTION 4. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded with the Cook County Recorder of Deeds. This Ordinance and the privileges, obligations, and provisions contained herein inure solely to the benefit of, and are binding upon, the Owner, the Applicant, and each of their heirs, representatives, successors, and assigns.

SECTION 5. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Owner or the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, as applicable, the approval granted in Section 2 of this Ordinance may, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approval granted in Section 2 of this Ordinance unless they first provide the Owner and the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of revocation, the development and use of the Property will be governed solely by the regulations of the M-B District, and the applicable provisions of the Zoning Ordinance, as the same may, from time to time, be amended. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances.

SECTION 6. AMENDMENTS. Any amendments to the approval granted in Section 2 of this Ordinance that may be requested after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance.

SECTION 7. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance are to remain in full force and effect, and are to be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 8. EFFECTIVE DATE.

- A. This Ordinance will be effective only upon the occurrence of all of the following events:
1. Passage by the Village President and Board of Trustees in the manner required by law;
 2. Publication in pamphlet form in the manner required by law;
 3. The posting by the Applicant of the surety bond required pursuant to Section 3.C of this Ordinance; and
 4. The filing by the Owner and the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of **Exhibit C** attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance.
- B. In the event the Owner or the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 8.A.4 of this

Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED this 3rd day of June, 2014.

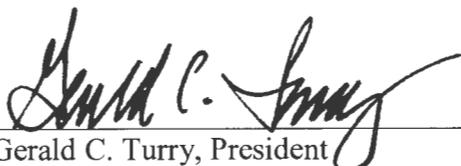
AYES: Trustees Patel, Sprogis-Marohn, Elster, Klatzco, Leftakes

NAYS: None

ABSENT: Trustee Cope

ABSTENTION: None

APPROVED by me this 3rd day of June, 2014.



Gerald C. Turry, President
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
3rd day of June, 2014



Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

That part of Lot 5 in Andrew Barkules and Sons Subdivision in the Northwest Quarter of the Northeast Quarter of Section 35, Township 41, North, Range 13, East of the Third Principle Meridian, said Andrew Barkules and Sons Subdivision recorded on June 24, 1966 as Document No. 19867378, bounded and described as follows: Commencing at the most southwesterly corner of said Lot 5; thence North 00 degrees, 01 minutes, 30 seconds west, being an assumed bearing on the west line of the Northwest Quarter of the Northeast Quarter of said Section 35, also being the most westerly line of said Lot 5, a distance of 57.32-feet to the intersection with the southeasterly right-of-way line of Chicago and Northwestern Railway; thence north 22 degrees, 4 minutes, 3 seconds east on the southeasterly right-of-way line of said Chicago and Northwestern Railway, also being the Northwesterly line of said Lot 5, a distance of 107-feet to the point of beginning; thence south 67 degrees, 55 minutes, 30 seconds east a distance of 40-feet; thence north 22 degrees, 4 minutes, 30 seconds east a distance of 40-feet; thence north 67 degrees, 55 minutes, 30 seconds west a distance of 40.0 feet; thence south 22 degrees, 4 minutes, 30 seconds west a distance of 40.0-feet to the point of beginning, all in Cook County, Illinois.

Commonly known as: 7017 North Central Park Avenue, Lincolnwood, Illinois

P.I.N.: 10-35-200-040-0000

EXHIBIT B

PLANS

SCI CONSTRUCTION AS-BUILT LAND SURVEY

PARENT-PARCEL LEGAL DESCRIPTION AS PROVIDED:

LOT 5 IN ANDREW BARBULES AND SONS SUBDIVISION ON THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, SAID ANDREW BARBULES AND SONS SUBDIVISION RECORDED JUNE 24, 1996 AS DOCUMENT NO. 19867378 IN COOK COUNTY, ILLINOIS.

LEASE AREA LEGAL DESCRIPTION AS PROVIDED:

THAT PART OF LOT 5 IN ANDREW BARBULES AND SONS SUBDIVISION ON THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, SAID ANDREW BARBULES AND SONS SUBDIVISION RECORDED JUNE 24, 1996 AS DOCUMENT NO. 19867378 BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST SOUTHWESTERLY CORNER OF SAID LOT 5; THENCE NORTH 00°01'30" WEST, BEING AN ASSUMED BEARING ON THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 35, A DISTANCE OF 187.57 FEET; THENCE NORTH 22°04'30" EAST, A DISTANCE OF 147.30 FEET; THENCE SOUTH 87°50'30" EAST, A DISTANCE OF 15.0 FEET; THENCE SOUTH 22°04'30" WEST, A DISTANCE OF 144.37 FEET TO THE SOUTHEASTERN LINE OF SAID LOT 5; THENCE SOUTH 00°01'30" EAST, A DISTANCE OF 184.25 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 35; THENCE SOUTH 87°50'30" WEST, A DISTANCE OF 40.0 FEET; THENCE NORTH 22°04'30" WEST, A DISTANCE OF 40.0 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

EASEMENT FOR INGRESS AND EGRESS LEGAL DESCRIPTION AS PROVIDED:

THAT PART OF THE NORTH HALF OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN AND PART OF LOT 5 IN ANDREW BARBULES AND SONS SUBDIVISION ON THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, SAID ANDREW BARBULES AND SONS SUBDIVISION RECORDED ON JUNE 24, 1996 AS DOCUMENT NO. 19867378 BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 35; THENCE NORTH 00°01'30" WEST, BEING AN ASSUMED BEARING ON THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 35, A DISTANCE OF 187.57 FEET; THENCE NORTH 22°04'30" EAST, A DISTANCE OF 147.30 FEET; THENCE SOUTH 87°50'30" EAST, A DISTANCE OF 15.0 FEET; THENCE SOUTH 22°04'30" WEST, A DISTANCE OF 144.37 FEET TO THE SOUTHEASTERN LINE OF SAID LOT 5; THENCE SOUTH 00°01'30" EAST, A DISTANCE OF 184.25 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 35; THENCE SOUTH 87°50'30" WEST, A DISTANCE OF 40.0 FEET; THENCE NORTH 22°04'30" WEST, A DISTANCE OF 40.0 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

ENCROACHMENT STATEMENT:

There are no encroachments onto or off of lease site.

ACCESS NOTE / NARRATIVE:

Access to site is via a 15' Easement for Ingress & Egress contiguous to Central Park Avenue.

SURVEYOR'S NOTES:

- The description contained herein describes all property described in First American Title Insurance Company commitment No. 11130, dated November 29, 2000.
- No underground installations or improvements were located as a part of this survey.
- No evidence of cemeteries or burial grounds was found on site at time of survey.
- Ownership of this property is subject to opinion of title and is not expressed or implied by this survey.
- This survey shows only dedications, restrictions and easements contained in the above-mentioned Title Commitment and provided to the surveyor. It is possible there are other recorded instruments, which may affect this property.
- Bearings and distances are record and measured unless otherwise noted.
- Bearings are based on record legal description.
- Subject property appears to be located in Flood Zone "X" (area outside 500 year flood plain) per F.R.M. No. 170310285, dated November 8, 2000.
- This survey was prepared expressly for the entities named. No person or entity is entitled to rely upon this survey for any purpose whatsoever without the express, written consent of International Land Services, Inc.
- The survey shown hereon was prepared from a balanced and adjusted traverse.
- Owner (lessor) of record is Village of Lincolnwood, Illinois.
- Boas of bearings in the west line of the northeast quarter of the northeast quarter of section 35, township 41 north, range 13 east, assuming a bearing of North 00°01'30" West.

SURVEYOR'S CERTIFICATE:

I, KENT A. NAGEL, DO HEREBY CERTIFY TO SPECTRASITE COMMUNICATIONS, INC., FEDERAL ANTI-TRUST ADMINISTRATION, THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY PERSONAL SUPERVISION AND THAT THIS IS A TRUE, CORRECT REPRESENTATION OF THE FACTS AS FOUND AT THIS TIME OF THE SURVEY, AND MORE SPECIFICALLY, I DO HEREBY CERTIFY THAT THE SURVEY CONFORMS TO THE CONDITIONS AND stipulations AS CHECKED (X) BELOW (NOTE: ON LEASED PARCELS, "SUBJECT PROPERTY" IS DEFINED AS THE LEASED PREMISES AND ITS APPURTENANT EASEMENTS; AND THIS SURVEY SHALL NOT BE CONSTRUED AS A FULL BOUNDARY SURVEY OF THE PARENT TRACT):

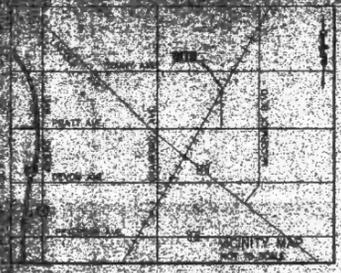
- (x) 1. CORRECTLY SHOWS THE LOCATION AND DIMENSION OF ALL ALLEYS, STREETS, ROADS, RIGHTS-OF-WAY, EASEMENTS AND OTHER MATTERS OF RECORD WHICH THE SURVEYOR HAS BEEN ADVISED AFFECTS THE SUBJECT PROPERTY (EACH HAS BEEN IDENTIFIED BY INSTRUMENT VOLUME AND PAGE NUMBER IF AVAILABLE).
- (x) 2. EXCEPT AS SHOWN THERE ARE NO VISIBLE EASEMENTS, RIGHTS-OF-WAY, PARTY WALLS OR CONFLICTS.
- (x) 3. ACCESS IS CONTIGUOUS BETWEEN THE SUBJECT PROPERTY AND A PUBLIC RIGHT-OF-WAY, AS SHOWN.
- (x) 4. THE LEGAL DESCRIPTION DEPICTED HEREON IS THE SAME DEEMED IN THE TITLE COMMITMENT OR CURRENT LEASE REFERENCED HEREON.
- (x) 5. SURVEY MEETS THE MINIMUM TOLERANCES OF PRECISION FOR BOUNDARY SURVEYS AS SET FORTH BY ILLINOIS STATE LAW.

STATE OF ILLINOIS
COUNTY OF COOK

S.S.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE FOR A BOUNDARY SURVEY.

WHEELING, ILL. 11/30, A.D. 2001
GEOCON, LTD.

BY *[Signature]*
ILLINOIS PROFESSIONAL LAND SURVEYOR
LICENSE EXPIRES: NOVEMBER 30, 2002



ELEVATION DATUM
ALL ELEVATIONS ARE BASED ON MEAN 1989 DATUM.
CORRECTION: +0.01
STATIONING OF END OF TOWER: 701.2
ELEVATION OF HIGHEST POINT: 711.2

LATITUDE & LONGITUDE
LATITUDE AND LONGITUDE FOR THE EXISTING TOWER
BASED ON NAD 83
LATITUDE: 41°58'15.27"
LONGITUDE: 87°43'47.02"

ZONING DATA
ZONE: M (Manufacturing)
As per Village of Lincolnwood Zoning Department, 847-833-1000.
RETRAKS: FRONT: 25'
REAR: 5'

NOTES CORRESPONDING TO SCHEDULE B:

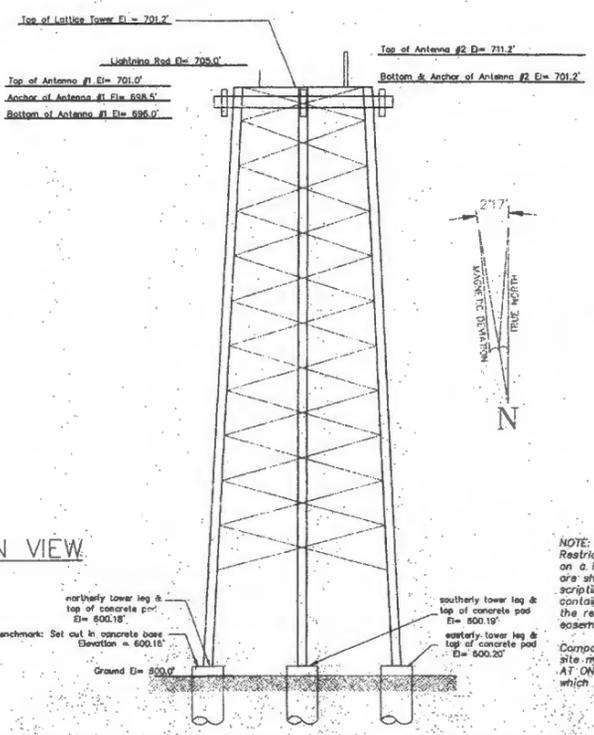
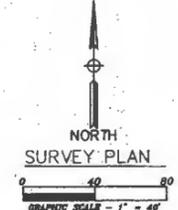
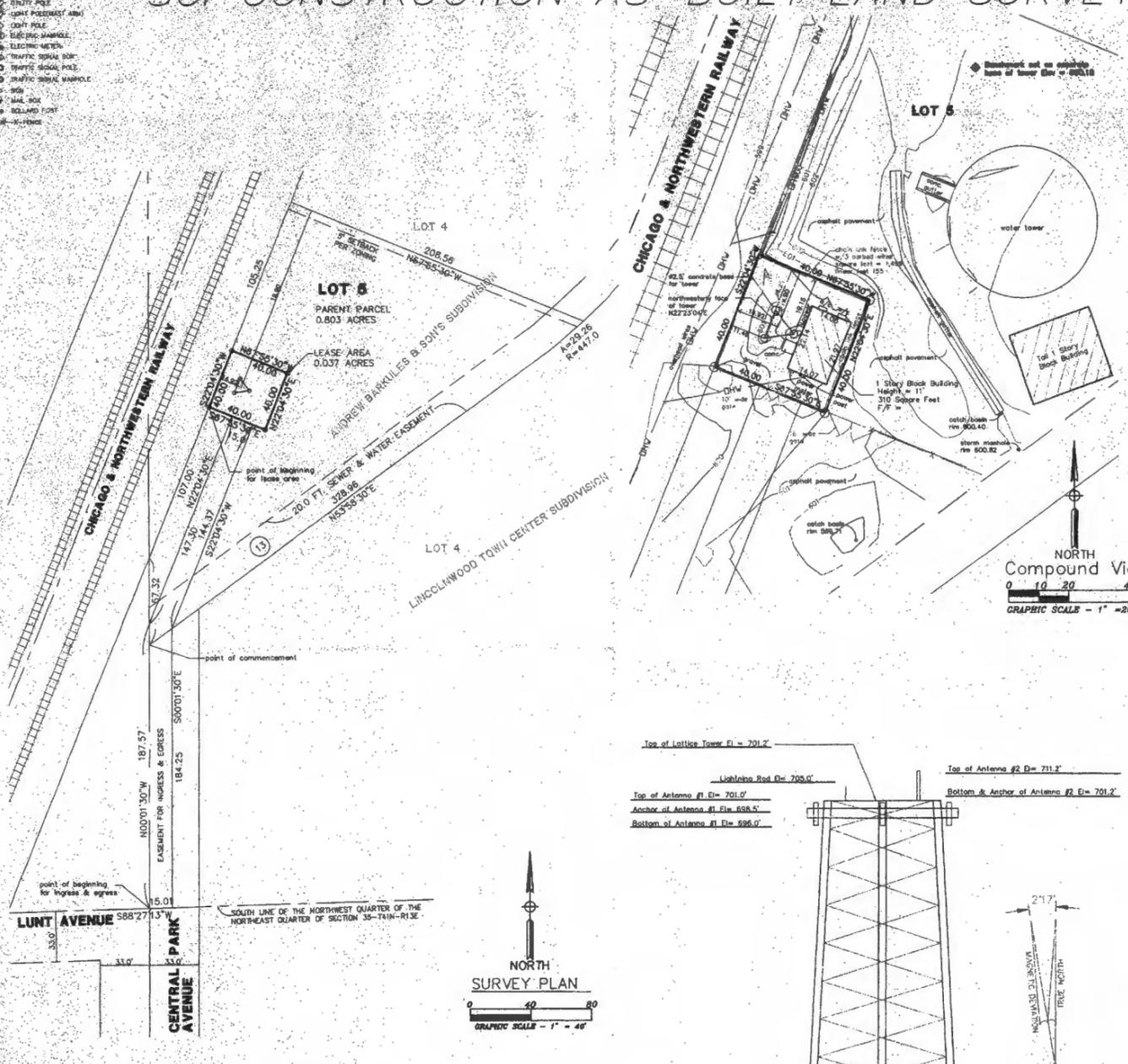
- GENERAL IN NATURE AND ARE NOT PLOTTED HEREON.
- GENERAL TAXES FOR THE YEAR 2000 AND THEREAFTER IS NOT PLOTTED HEREON.
- MORTGAGES, ENCUMBRANCES, AND INTERESTS SUBORDINATE TO THE INTEREST OF THE LESSEE UNDER SITE AGREEMENT IS NOT PLOTTED HEREON.
- TERMS AND PROVISIONS OF THE SITE AGREEMENT DATED MAY 17, 1990 RECORDED AS DOCUMENT NO. 86-250387 IS NOT PLOTTED HEREON.
- EASEMENT GRANTED TO VILLAGE OF LINCOLNWOOD RECORDED AS DOCUMENT NO. 2489922 IS NOT AVAILABLE THEREFORE IS NOT PLOTTED HEREON.
- EASEMENTS FOR PUBLIC UTILITIES AND DRAINAGE OVER, UPON AND UNDER THE SOUTHEASTERN 20 FEET OF LAND AS SHOWN BY THE SUBDIVISION PLAT IS NOT PLOTTED HEREON.
- TERMS, CONDITION AND PROVISIONS OF THE DOCUMENT CREATING THE EASEMENT DESCRIBED TOGETHER WITH THE RIGHTS OF THE ADJACENT OWNERS IN AND TO THE CONCURRENT USE OF SAID EASEMENT, IS NOT PLOTTED HEREON.
- TERMS, PROVISIONS AND CONDITIONS IN DEED RECORDED AS DOCUMENT NO. 1416823.
- GENERAL IN NATURE AND IS NOT PLOTTED HEREON.

Work Coordinated by:
International Wireless Services, LLC
2230 McKOWN DRIVE
Norman, Oklahoma 73072
(405) 701-2323 www.viewtws.com

Project Location: LINCOLNWOOD, ILLINOIS
Project Address: 7081 CENTRAL PARK
Site Name: LINCOLNWOOD
Survey Date: 11-04-01

Surveyor: GEOCON, LTD. CONSULTING
500 WASHINGTON AVENUE
WHEELING, IL 60090
TEL: 815-212-1100 FAX: 815-212-1101

Client: SPECTRASITE COMMUNICATIONS
100 WASHINGTON CENTER DRIVE, SUITE 400
WHEELING, ILLINOIS 60090



TOWER ELEVATION VIEW
not to scale



**AMERICAN TOWER CORP.
LINCOLNWOOD (303900)
7001 N. CENTRAL PARK AVENUE
LINCOLNWOOD, ILLINOIS
SMALL CELL DRAWINGS**

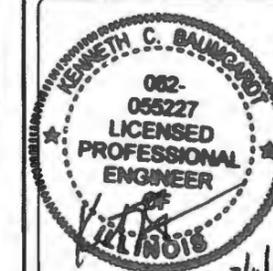
MARCH 2014

CITY PLAN REVIEW



PROJECT ID: 303900
EDGE PROJECT NO: 10211
DRAWN BY: APK
CHECKED BY: BDK

REV	DATE	DESCRIPTION	INT.
B	03/11/2014	CD 90'S SMALL CELL	JAH
A	02/25/2014	PRELIM SMALL CELL	APK



IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

LINCOLNWOOD
303900
7001 N. CENTRAL PARK AVENUE
LINCOLNWOOD, ILLINOIS
SMALL CELL DRAWINGS

SHEET TITLE
**TITLE SHEET &
PROJECT DATA**

SHEET NUMBER
T-1



SITE LOCATION MAPS



SITE LOCATION SCAN

SHEET INDEX:

NO.:	PAGE TITLE:
T-1	TITLE SHEET & PROJECT DATA
I-2	SITE SURVEY*
C-1	SITE PLAN
C-2	COMPOUND PLAN
C-3	EQUIPMENT DETAILS
A-1	TOWER ELEVATION
A-2	ANTENNA DETAILS
A-3	ANTENNA CONFIGURATION
G-1	GROUNDING PLAN
G-2	GROUNDING DETAILS
E-1	ONE-LINE DIAGRAM

PREPARED BY OTHERS*

PROJECT DIRECTORY:

CLIENT:
AMERICAN TOWER CORP.
1101 PERIMETER DRIVE
SUITE 700
SCHAUMBURG, IL 60173
CONTACT: CHRISTOPHER FLICK
PHONE: 847.240.1508 EX. 2574

ENGINEERING COMPANY:
EDGE CONSULTING ENGINEERS, INC.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
CONTACT: BRUCE KIESLING
PHONE: 608.644.1449

SITE ACQUISITION:
LORA, CHANTHADOUANGSY & CASTELLANOS, LLC
10700 WEST HIGGINS ROAD, SUITE 240
ROSEMONT, IL 60018
CONTACT: KRISTIN HERSEMANN
PHONE: 847.380.5004

FIBER PROVIDER:
AT&T
CONTACT: HENRY TORRES

PROJECT INFO:

SITE LOCATION:
7001 N. CENTRAL PARK AVENUE
LINCOLNWOOD, IL 60712

LESSEE:
VERIZON WIRELESS
1515 E. WOODFIELD ROAD
10TH FLOOR
SCHAUMBURG, IL 60173
SITE NAME: LINCOLNWOOD ATC SC
VZW LOCATION #: 277176

TOWER OWNER:
AMERICAN TOWER CORP. (ATC)
1101 PERIMETER DRIVE
SUITE 700
SCHAUMBURG, IL 60173
ATC #: 303900

1A INFORMATION (PER ATC SITE BROCHURE)
-TOWER BASE-
LAT: 42°-00'-32.7"
LONG: 87°-43'-07.3"
GROUND ELEVATION: 600'

STRUCTURAL REVIEW

TOWER STRUCTURAL ANALYSIS COMPLETED BY
STRUCTURAL ENGINEER. REFER TO ANALYSIS BY:

AMERICAN TOWER CORPORATION
REPORT #: 56280725
DATE: 02/26/2014

CONTRACTOR TO REVIEW STRUCTURAL REPORT IN ITS ENTIRETY. ANY DISCREPANCIES OR DISAGREEMENTS BETWEEN THE REPORT AND THESE PLANS SHOULD BE RESOLVED PRIOR TO CONSTRUCTION.

PROJECT DESCRIPTION:

PROJECT TYPE: 100' SELF-SUPPORT TOWER
PRO. ANTENNA C/L: 30' ABOVE T.O.C. (VERIFY WITH ECR)
ANTENNAS: 3 PRO. SMALL CELL ANT. (VERIFY WITH ECR)
COAX LINES: (2) PRO. FIBER CABLES (VERIFY WITH ECR)
(2) PRO. A/C POWER CABLES (VERIFY WITH ECR)
EQUIPMENT: (1) PRO. RRUS (VERIFY WITH ECR)
(1) PRO. RRUL (VERIFY WITH ECR)
GROUND EQUIPMENT: (1) CHARLES CABINET ON CONCRETE SLAB
LEASE AREAS: PRO. 3' x 6' LESSEE LEASE AREA
CONDUITS: (2) 2" CONDUITS



CITY PLAN REVIEW



PROJECT ID:	303900
EDGE PROJECT NO:	10211
DRAWN BY:	APK
CHECKED BY:	BDK

REV	DATE	DESCRIPTION	INT.
B	03/11/2014	CD 90's SMALL CELL	JAH
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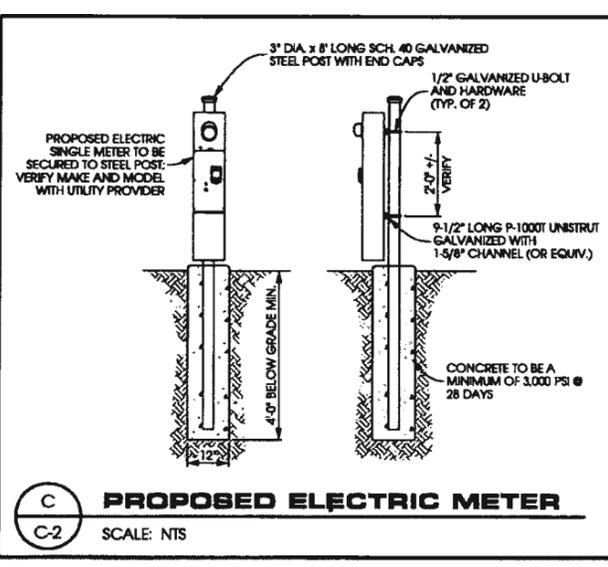
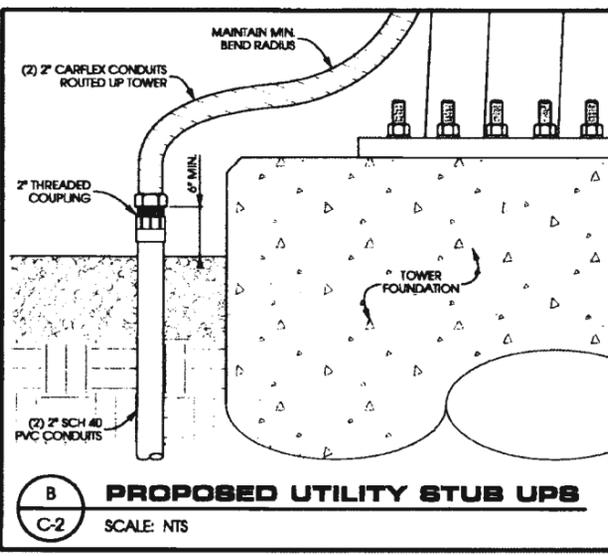
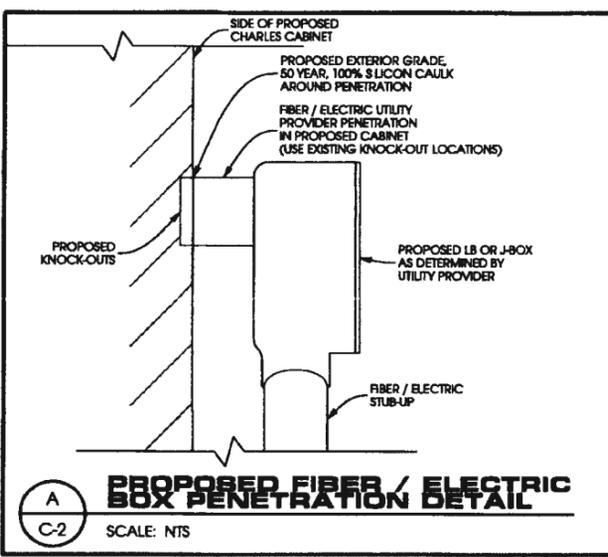
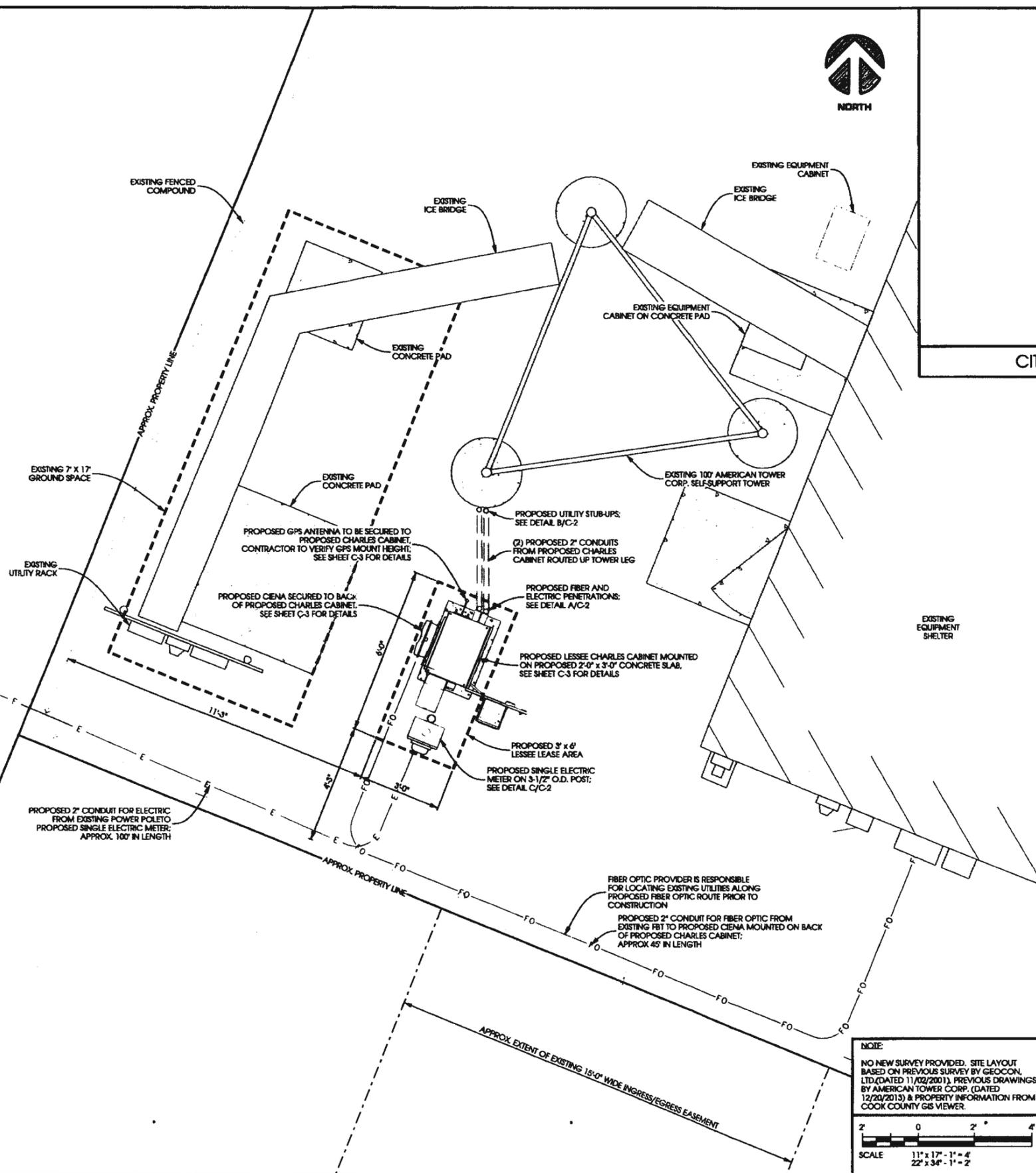
LINCOLNWOOD
 303900
 7001 N. CENTRAL PARK AVENUE
 LINCOLNWOOD, ILLINOIS
 SMALL CELL DRAWINGS

SHEET TITLE
COMPOUND PLAN

SHEET NUMBER
C-2

NOTE:
 NO NEW SURVEY PROVIDED. SITE LAYOUT BASED ON PREVIOUS SURVEY BY GEOCON, LTD. (DATED 11/02/2001). PREVIOUS DRAWINGS BY AMERICAN TOWER CORP. (DATED 12/20/2013) & PROPERTY INFORMATION FROM COCK COUNTY GIS VIEWER.

SCALE
 11" x 17" - 1" = 4'
 22" x 34" - 1" = 2'



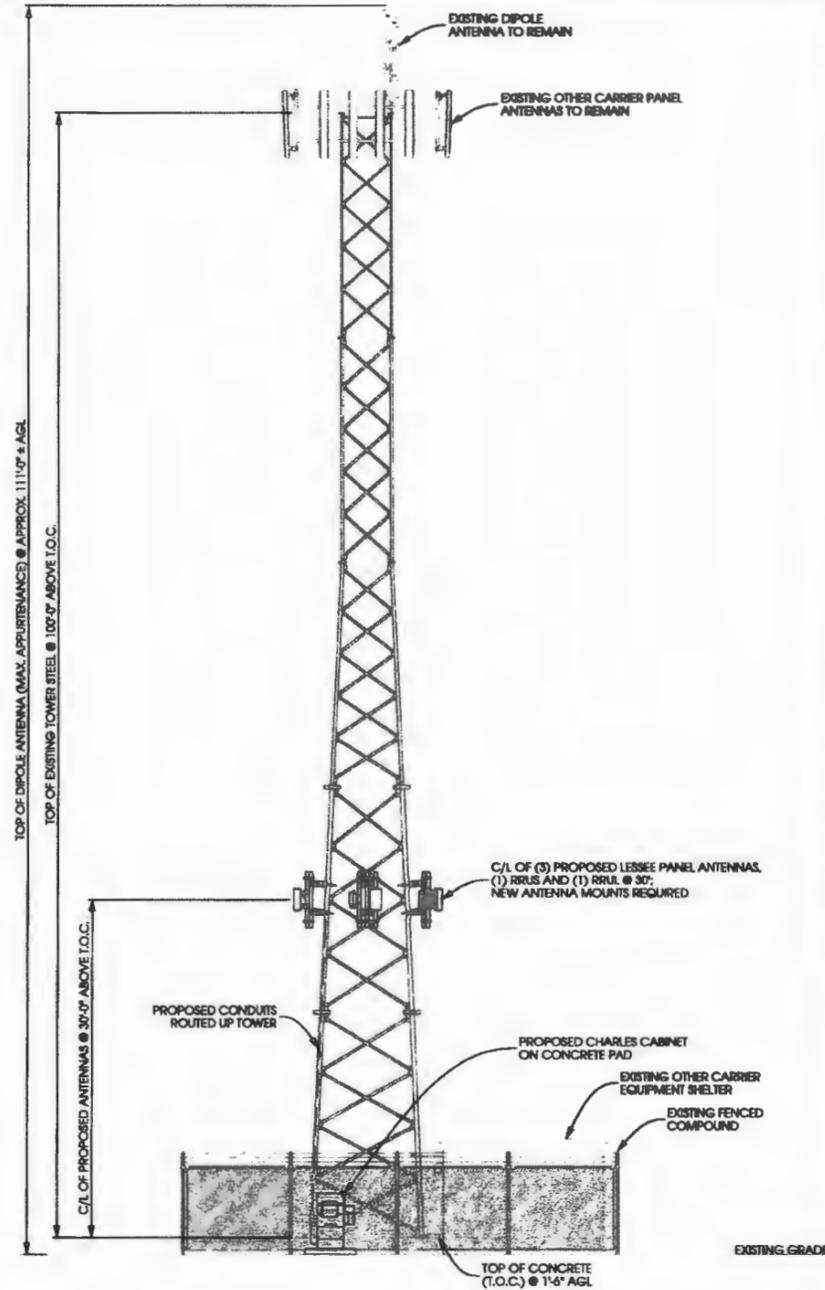
I:\02001\0211\CAD\Plan\Small Cell Drawings\C2.dwg

FIBER CABLE INFO TABLE	
QUANTITY FROM CHARLES CABINET:	2
LENGTH FROM CHARLES CABINET TO EQUIPMENT ON TOWER:	55'
MODEL #:	GENERIC

JUMPER CABLE INFO TABLE	
DESCRIPTION:	
ALPHA SECTOR:	15' FROM RRU TO ALPHA SECTOR ANTENNA
BETA SECTOR:	15' FROM RRU TO BETA SECTOR ANTENNA
GAMMA SECTOR:	15' FROM RRU TO GAMMA SECTOR ANTENNA

NOTES:
 CONTRACTOR TO VERIFY HEIGHT AND DIRECTION OF ANTENNA WITH PROJECT MANAGER & FINAL RF DESIGN.
 ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.

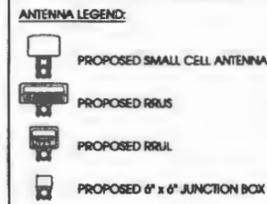
COLLOCATION NOTE:
 REFER TO STRUCTURAL ANALYSIS AS IDENTIFIED ON T-1. CONTRACTOR TO THOROUGHLY REVIEW THE TOWER STRUCTURAL ANALYSIS FOR INFORMATION PERTAINING TO TOWER UPGRADES, MOUNTING TYPES, ANTENNA HEIGHTS, AND COAX ROUTING. ANY DISCREPANCIES BETWEEN THE DRAWINGS, STRUCTURAL ANALYSIS, AND TOWER PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER PRIOR TO BIDDING AND INSTALLATION.



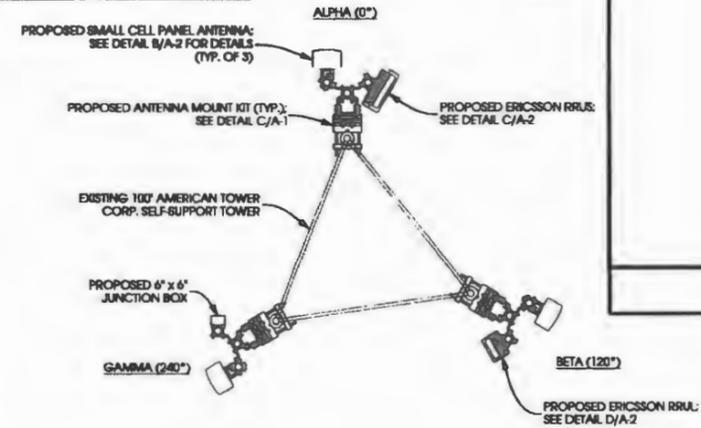
A
A-1 TOWER PROFILE (SOUTH ELEVATION)
 SCALE: 11" x 17" - 1" = 15'
 22" x 34" - 1" = 7'-6"



EXISTING TOWER PROFILE - LOOKING NORTHWEST -

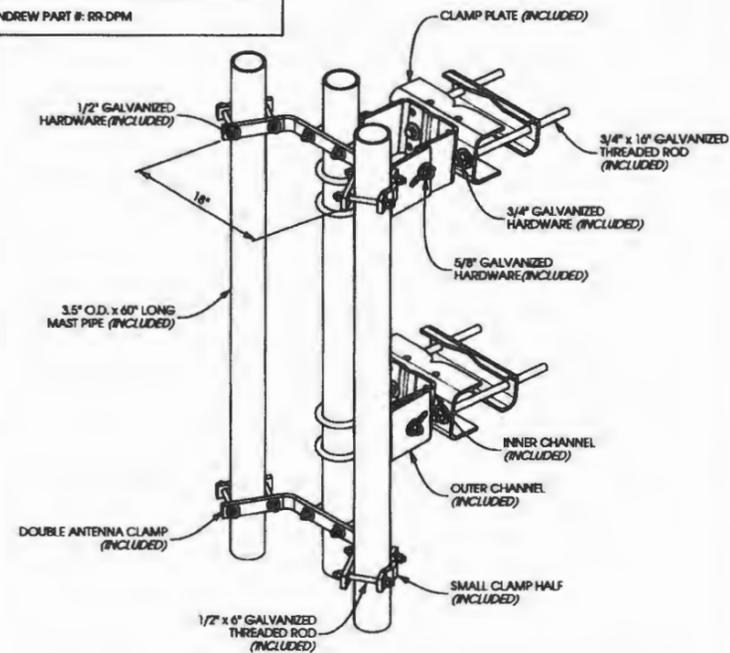


NOTE:
 ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.



B
A-1 PROPOSED ANTENNA ORIENTATION
 SCALE: NTS

DUAL PIPE MOUNT:
 DUAL PIPE MOUNT FOR STRAIGHT OR TAPERED LEGS UP TO 8-5/8" O.D., 0° ANGLE 60°, OR 0° ANGLE 90°
 ANDREW PART #: RR-DPM



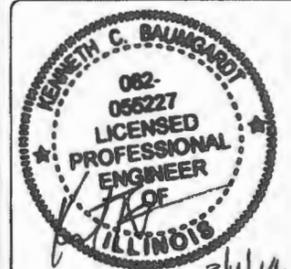
C
A-1 PROPOSED ANTENNA MOUNT DETAIL
 SCALE: NTS

CITY PLAN REVIEW



PROJECT ID:	303900
EDGE PROJECT NO:	10211
DRAWN BY:	APK
CHECKED BY:	BDK

REV.	DATE	DESCRIPTION	INT.
B	03/11/2014	CD 90'S SMALL CELL	JAH
A	02/26/2014	PRELIM SMALL CELL	APK

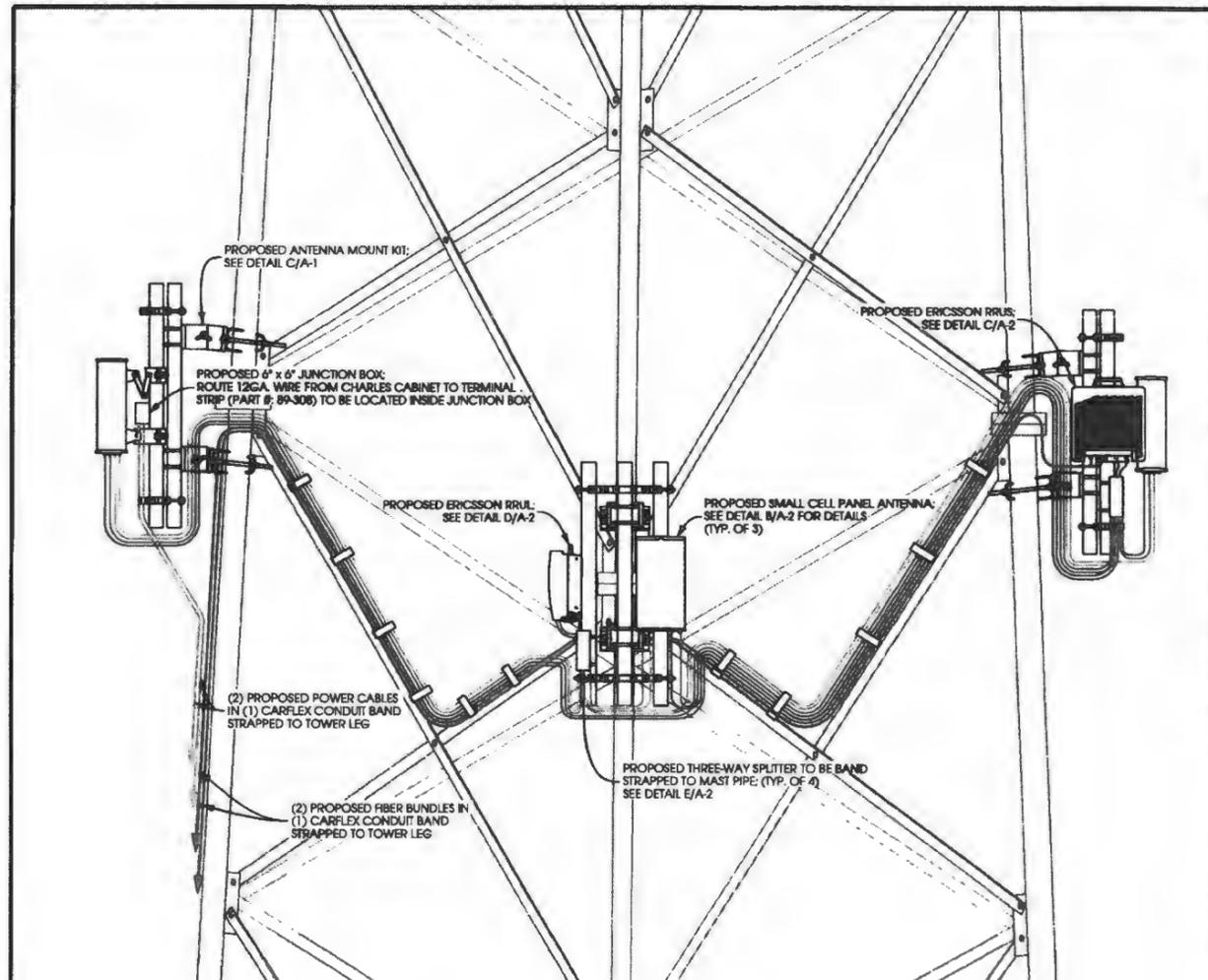


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LINCOLNWOOD
 303900
 7001 N. CENTRAL PARK AVENUE
 LINCOLNWOOD, ILLINOIS
 SMALL CELL DRAWINGS

SHEET TITLE
TOWER ELEVATION

SHEET NUMBER
A-1

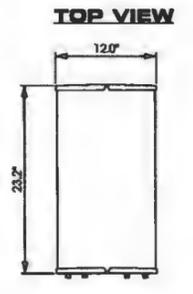
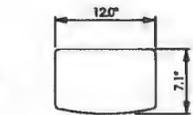


A CABLING DIAGRAM
A-2 SCALE: NTS

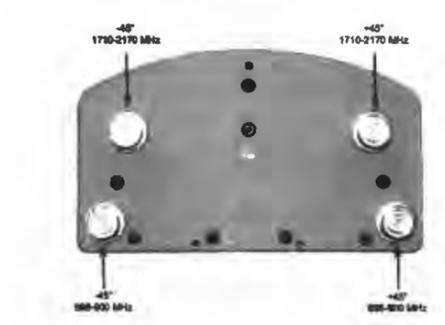
696-900 / 1710-2170 MHz

QXW-632X634XBF-EDIN
XX-Pol | Dual Band FET Panel | 63" / 63" | 11.6 / 14.3 dBi

Electrical Characteristics	696-900 MHz		1710-2170 MHz		
Frequency bands	696-900	896-900	1710-1880	1890-1990	1900-2170
Polarization	±45°				
Horizontal beamwidth	70°	65°	65°	63°	61°
Vertical beamwidth	37°	35°	18°	18°	18°
Gain	9.6 dBi / 11.1 dBi	9.8 dBi / 11.0 dBi	11.8 dBi / 13.9 dBi	12.1 dBi / 14.2 dBi	12.2 dBi / 14.3 dBi
Electrical downtilt (°)	0				
Impedance	50Ω				
VSWR	≤1.5:1		≤1.8:1		
Isolation between ports	35 dB		25 dB		
Input power	500 W		300 W		
Lighting protection	Direct ground				
Connectivity	4 / 7-18 DIN / Female / Bottom				
Mechanical Characteristics					
Dimensions Length x Width x Depth	580 x 305 x 190 mm		23.2 x 12.0 x 7.1 in		
Weight without mounting brackets	5 kg		11 lbs		
Survived wind speed	> 201 km/hr		> 125 mph		
Wind area	Front: 0.95 m²	Side: 0.11 m²	Front: 1.8 ft²	Side: 1.1 ft²	
Wind load @ 181 km/hr (100 mph)	Front: 210 N	Side: 120 N	Front: 46 lbf	Side: 29 lbf	
2-Point Mounting & Downfit Bracket ID	38210006	40-115 mm	1.57-4.5 in	4.1 kg	9.0 lbs



Antenna Bottom View



B ANTENNA SPECIFICATIONS
A-2 NTS

CITY PLAN REVIEW

Edge
Consulting Engineers, Inc.

PROJECT ID: 303900
EDGE PROJECT NO: 10211
DRAWN BY: APK
CHECKED BY: BDK

REV.	DATE	DESCRIPTION	INT.
B	03/11/2014	CD 90's SMALL CELL	JAH
A	02/25/2014	PRELIM SMALL CELL	APK

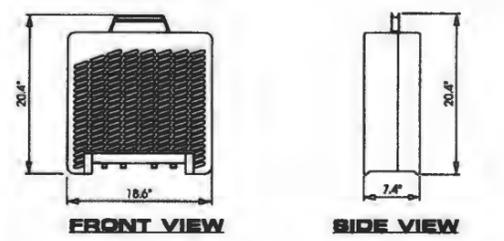
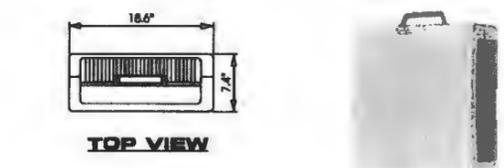


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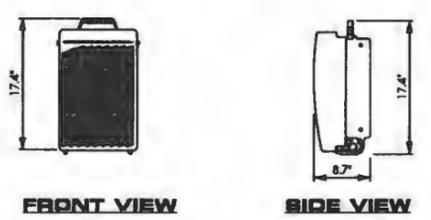
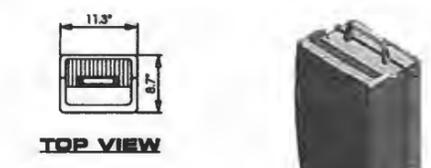
LINCOLNWOOD
303900
7001 N. CENTRAL PARK AVENUE
LINCOLNWOOD, ILLINOIS
SMALL CELL DRAWINGS

SHEET TITLE
ANTENNA DETAILS

SHEET NUMBER
A-2



C ERICSSON RRUS UNIT
A-2 SCALE: NTS



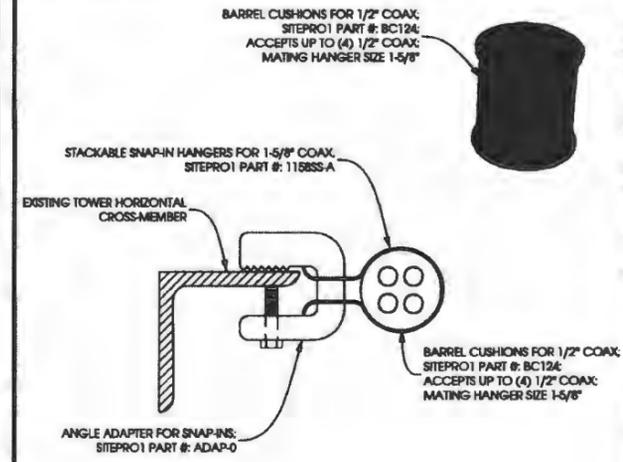
D ERICSSON RRUL UNIT
A-2 SCALE: NTS

PRODUCT OVERVIEW:

OPERATING FREQUENCY BAND: 696 - 2700 MHz
3RD ORDER IMD: -180 DBC (RELATIVE TO CARRIER)
3RD ORDER IMD TEST METHOD: TWO +43 DBM CARRIERS
AVERAGE POWER, MAXIMUM: 700 W
DISSIPATIVE LOSS AT FREQUENCY BAND: 0.2 DB @ 696-2700 MHz
IMPEDANCE: 50 OHM
PEAK POWER, MAXIMUM: 3 KW
POWER RATING, SPLITTING: 700 W
REFLECTED POWER, MAXIMUM: 700 W
RETURN LOSS, MINIMUM: 19.1 DB
SPLIT LOSS: 4.8 DB
VSWR: 1.25:1



E SPLITTER DETAIL
A-2 SCALE: NTS



F ANGLE BRACKET DETAIL
A-2 SCALE: NTS

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CITY PLAN REVIEW



PROJECT ID:	303900
EDGE PROJECT NO:	10211
DRAWN BY:	APK
CHECKED BY:	BDK

REV	DATE	DESCRIPTION	INT.
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A	02/25/2014	PRELIM SMALL CELL	APK

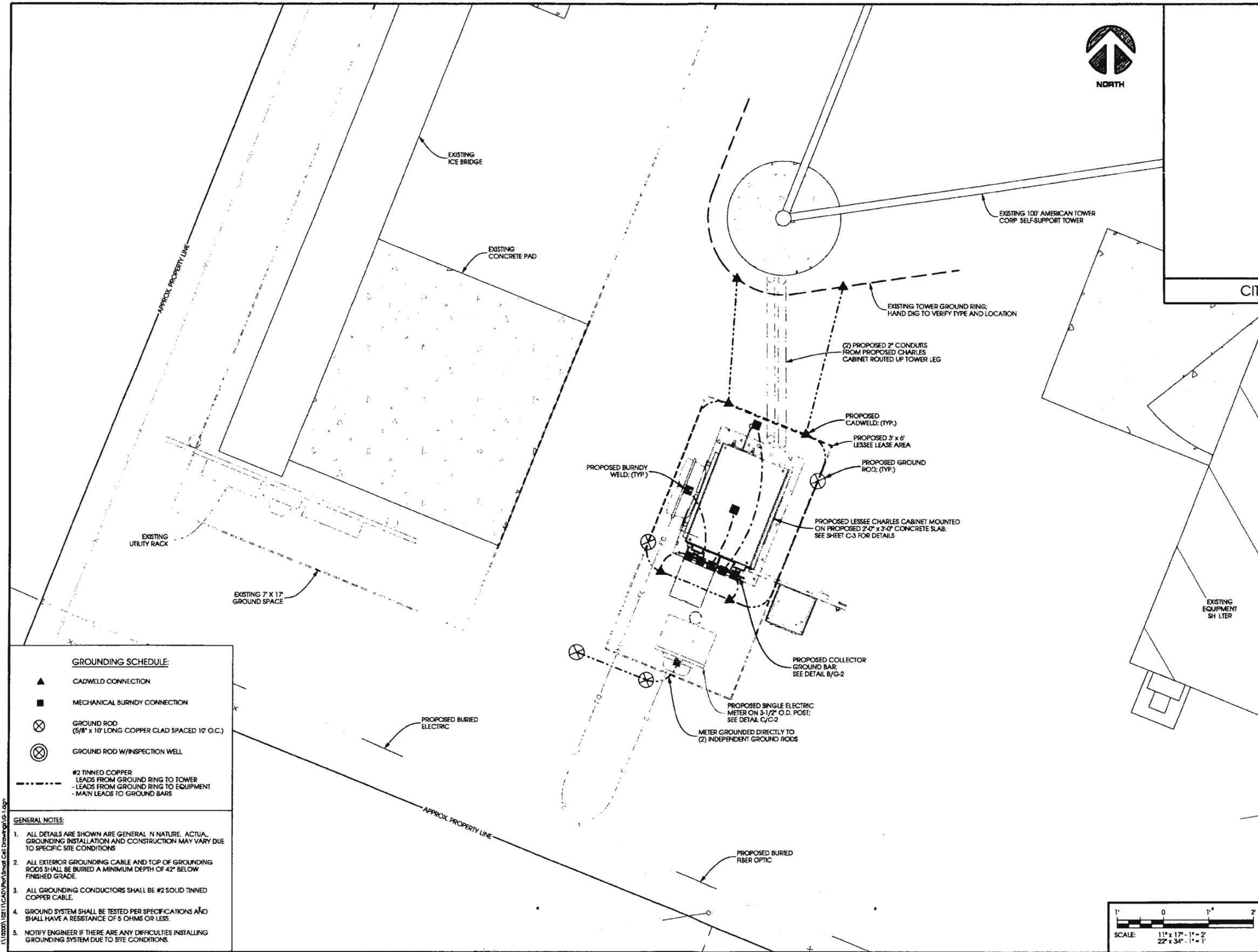
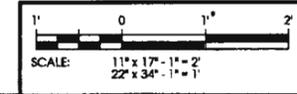
KENNETH C. BAUMGARDT
062-066227
LICENSED PROFESSIONAL ENGINEER
ILLINOIS

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LINCOLNWOOD
303900
7001 N. CENTRAL PARK AVENUE
LINCOLNWOOD, ILLINOIS
SMALL CELL DRAWINGS

SHEET TITLE
GROUNDING PLAN

SHEET NUMBER
G-1



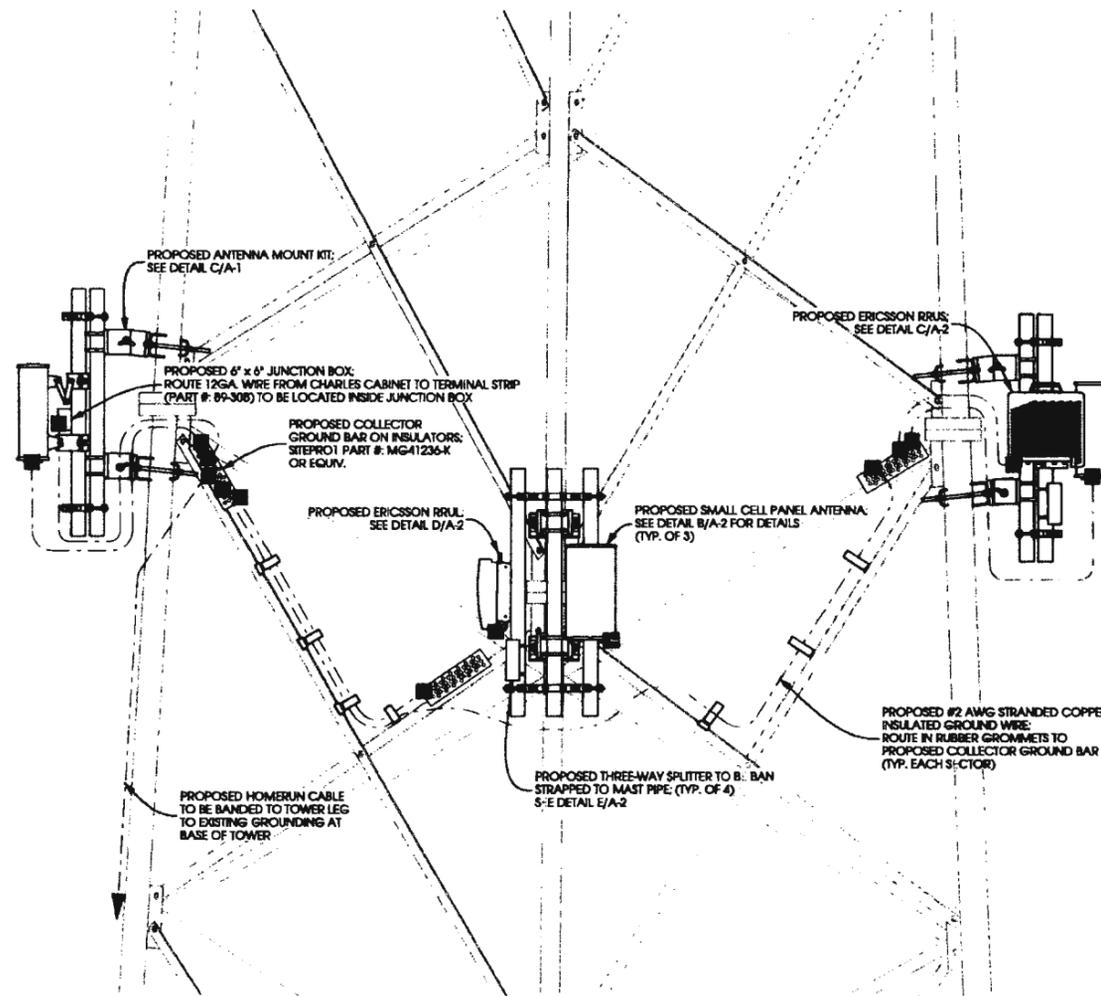
GROUNDING SCHEDULE:

- ▲ CADWELD CONNECTION
- MECHANICAL BURNDY CONNECTION
- ⊗ GROUND ROD (5/8" x 10' LONG COPPER CLAD SPACED 10' O.C.)
- ⊗ GROUND ROD W/INSPECTION WELL
- #2 TINNED COPPER
LEADS FROM GROUND RING TO TOWER
LEADS FROM GROUND RING TO EQUIPMENT
MAIN LEADS TO GROUND BARS

GENERAL NOTES:

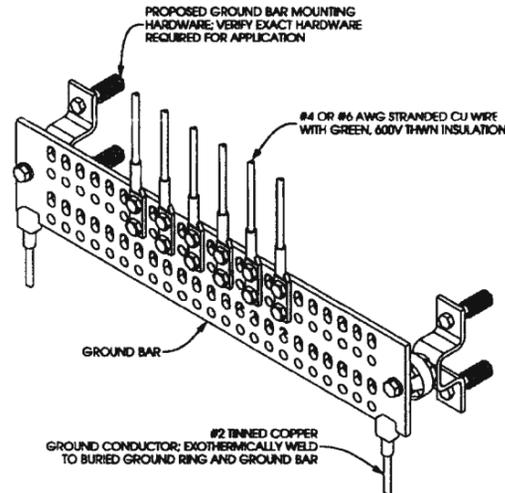
1. ALL DETAILS ARE SHOWN ARE GENERAL IN NATURE. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SPECIFIC SITE CONDITIONS
2. ALL EXTERIOR GROUNDING CABLE AND TOP OF GROUNDING RODS SHALL BE BURIED A MINIMUM DEPTH OF 42" BELOW FINISHED GRADE.
3. ALL GROUNDING CONDUCTORS SHALL BE #2 SOLID TINNED COPPER CABLE.
4. GROUND SYSTEM SHALL BE TESTED PER SPECIFICATIONS AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS.
5. NOTIFY ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE CONDITIONS.

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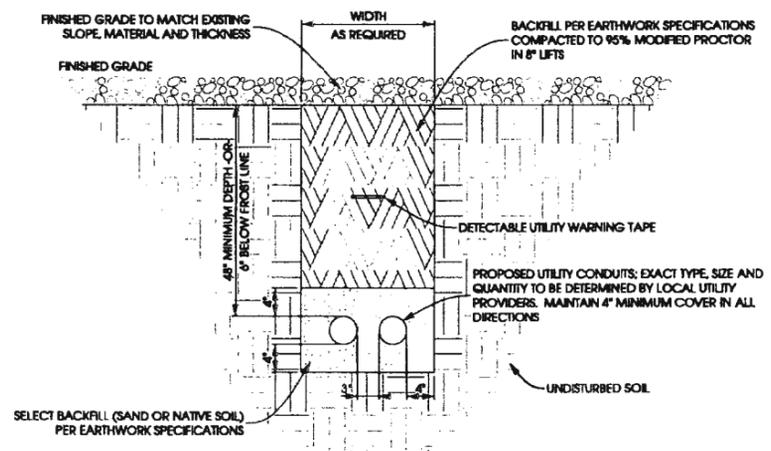
A EQUIPMENT GROUNDING DETAIL
SCALE: NTS

NOTES:
USE UV-RATED HEAT SHRINK FOR OUTDOOR GROUND BAR APPLICATIONS AND CLEAR HEAT SHRINK FOR INDOOR APPLICATIONS.



B GROUND BAR DETAIL
SCALE: NTS

NOTES:
UTILITY CONDUITS TO BE BURIED A MINIMUM OF 48\"/>



C UTILITY TRENCH DETAIL
SCALE: NTS

CITY PLAN REVIEW



PROJECT ID:	303900
EDGE PROJECT NO:	10211
DRAWN BY:	APK
CHECKED BY:	BDK

REV.	DATE	DESCRIPTION	INT.
B	03/11/2014	CD 90% SMALL CELL	JAH
A	02/25/2014	PRELIM SMALL CELL	APK



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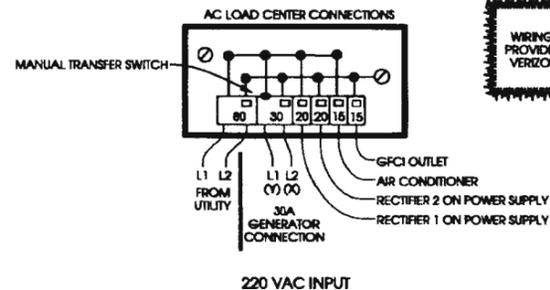
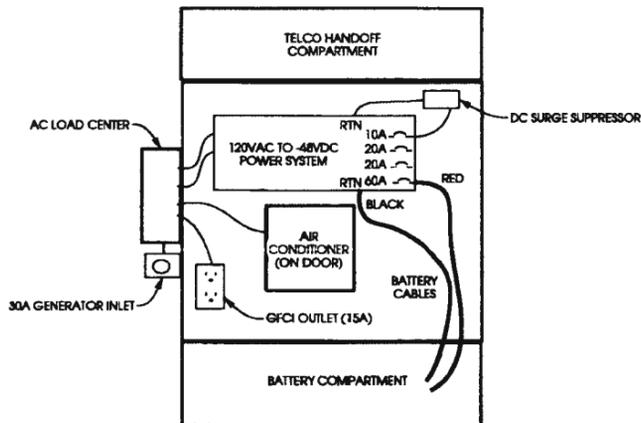
LINCOLNWOOD
303900
7001 N. CENTRAL PARK AVENUE
LINCOLNWOOD, ILLINOIS
SMALL CELL DRAWINGS

SHEET TITLE
**GROUNDING
DETAILS**

SHEET NUMBER
G-2

A:\2020\10211\CD\11\CD\11\Small Cell Drawings\G-2.dgn

NOTE: GROUND WIRES ARE PRESENT BUT NOT SHOWN



WIRING DIAGRAM PROVIDED BY ATC & VERIZON WIRELESS

B
E-1
SCALE: NTS
BLOCK DIAGRAM

CATEGORY	
DIMENSIONS AND WEIGHT	48.4" H x 28"W x 20"D 220 LBS
19" EQUIPMENT RACK SPACE	
EQUIPMENT COMPARTMENT	21" (12RU)
HANDOFF COMPARTMENT	8.75" (5RU)
HOLE SPACING	BA TAPPED 12-24
COLOR	OFF WHITE
MATERIAL	.125" WELDED ALUMINUM
MAXIMUM HEAT DISSIPATION	585W
2000 BTU AIR CONDITIONER	DANTHERM #CS020020A
48VDC POWER SHELF	ELTEK #CK3S-ANLVC
(2) 1000W RECTIFIER	ELTEK #V1000A-VC PLACE IN SLOTS 1 & 3
CONTROLLER	ELTEK #BC2000-A01-10VC
48VDC SURGE SUPPRESSOR	RAYCAP # DC1-60
BONDING AND GROUNDING	TWO 2x8 POSITION GROUND BARS
OPTIONAL MOUNTING KITS	POLE: #97-CABPMTKIT H-FRAME: #97-001971 A PAD: #97-PM4XPLINTH-A
OPERATING TEMP. RANGE, INSIDE CABINET	-40° TO +149° F
OPERATING TEMP. RANGE, OUTSIDE CABINET	-40° TO +115° F
HUMIDITY	0 TO 95% (NON-CONDENSING)
ALTITUDE	UP TO 2,000 METERS (6560')

PROPOSED ELECTRIC SINGLE METER TO BE SECURED TO STEEL POST. VERIFY MAKE AND MODEL WITH UTILITY PROVIDER

PROPOSED CHARLES CABINET ON CONCRETE SLAB. SEE SHEET C-3 FOR DETAILS

-48 DC JUMPER FROM PROPOSED CHARLES CABINET TO PROPOSED CIENA 3931

PROPOSED DISCONNECT (ELECTRICIAN TO VERIFY DISCONNECT MOUNTING LOCATION)

PROPOSED CIENA 3931 SERVICE DELIVERY SWITCH TO BE INSTALLED ON P-1000T UNISTRUTS SECURED TO BACK OF PROPOSED CHARLES CABINET. SEE DETAIL C/C-3

EXISTING AMERICAN TOWER CORP. SELF-SUPPORT TOWER

(1) PROPOSED 2" CONDUIT FROM POWER SOURCE TO PROPOSED SINGLE ELECTRIC METER CABINET. VERIFY POWER SOURCE WITH UTILITY PROVIDER

(1) PROPOSED 2" CONDUIT FROM PROPOSED SINGLE ELECTRIC METER TO PROPOSED CHARLES CABINET

(1) PROPOSED 2" CONDUIT FROM PROPOSED CHARLES CABINET UP SELF-SUPPORT TOWER LEG TO JUNCTION BOX AT EQUIPMENT

A
E-1
SCALE: NTS
ONE-LINE DIAGRAM

CITY PLAN REVIEW



PROJECT ID:	303900
EDGE PROJECT NO:	10211
DRAWN BY:	APK
CHECKED BY:	BDK

REV.	DATE	DESCRIPTION	INT.
B	03/11/2014	CD 90'S SMALL CELL	JAH
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LINCOLNWOOD
303900
7001 N. CENTRAL PARK AVENUE
LINCOLNWOOD, ILLINOIS
SMALL CELL DRAWINGS

SHEET TITLE
ONE-LINE DIAGRAM

SHEET NUMBER
E-1

EXHIBIT C

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Lincolnwood, Illinois ("**Village**");

WHEREAS, the Village is the record title owner of that certain property located in the MB Light Manufacturing/Business District and commonly known as 7017 North Central Park Avenue, in the Village ("**Property**"); and

WHEREAS, Ordinance No. 2014-3097, adopted by the Village President and Board of Trustees on June 3, 2014 ("**Ordinance**"), grants a special use permit to Chicago SMSA Limited Partnership d/b/a Verizon Wireless ("**Applicant**") for the construction and use of personal wireless service facilities on the Property; and

WHEREAS, Section 8 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Owner and the Applicant shall have filed, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Owner and Applicant do hereby agree and covenant as follows:

1. The Owner and the Applicant hereby unconditionally agree to accept, consent to, and abide by each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.

2. The Owner and the Applicant acknowledge that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.

3. The Owner and the Applicant acknowledge and agree that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of a special use permit for the Property or its adoption of the Ordinance, and that the Village's approvals do not, and will not, in any way, be deemed to insure the Owner or the Applicant against damage or injury of any kind and at any time.

4. The Owner and the Applicant hereby agree to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Ordinance granting the special use permit for the Property.

Dated: June 5, 2014

ATTEST:

CHICAGO SMSA LIMITED
PARTNERSHIP d/b/a VERIZON
WIRELESS

By: Cellco Partnership, its general partner

By: Susan C La Ha

By: Jacques Vallier
Jacques Vallier

Its: _____

Its: Executive Director



Several Commissioners indicated that they were interested in minimizing local governmental regulations that can have a negative effect on the success of some new businesses.

Mr. Passman noted that all liquor stores are held to the same standards that are present in the current liquor license requirements.

Chairman Eisterhold asked if anyone in the audience would like to speak on this Special Use. He noted that no one came forward.

Motion to Approve a Special Use for a Liquor Store in the space commonly known as 7177 North Lincoln Avenue was made by Commissioner Fishman, and Seconded by Commissioner Yohanna.

Aye: Fishman, Yohanna, Auerbach, Goldfein, and Eisterhold

Nay: Sampen

Motion Approved 5-1

V. Public Hearing: 7017 North Central Park Avenue – Special Use for Wireless Communication Facility on an Existing Tower

Chairman Eisterhold swore in the Petitioner, Wanchay Itmis, Agent for Verizon Wireless/ATC, 10700 West Higgins Road, Suite 240, Rosemont, Illinois.

Mr. Cook presented an overview of Verizon Wireless' Special Use in order to install three new antennas and ground equipment. The tower, which is owed by American Tower, is adjacent to the Village's water tank and the equipment will be placed 30 feet above ground on a 100-foot tower. Staff noted that there has been four similar requests and approvals of these facilities since 2009.

The Petitioner stated that the new equipment is needed in order to improve coverage and quality of service to their customers. The equipment will be installed 30 feet above grade on the existing 100-foot tower. These towers were chosen to provide better coverage and will provide little impact on the character of the property nor will it devalue the property. This improvement will not affect the structure with this addition. The site is in compliance with all federal, state, and Village ordinances.

In response to Chairman Eisterhold's inquiry as to why this equipment is only 30-feet high, the Petitioner explained that Verizon utilizes small cell technology and, by utilizing smaller equipment, it can help alleviate dropped calls in areas where they cannot build tall towers and the capacity can be enhanced with these smaller cells at a lower height.

Chairman Eisterhold swore in Mr. Stan Wilk, 4830 Chase Avenue, who is a member of the Telecommunications Board, had no comments regarding this application.

Chairman Eisterhold asked if anyone in the audience would like to speak on this Special Use. He noted that no one came forward.

Motion to Approve a Special Use for a Wireless Communications Facility was made by Commissioner Yohanna, and Seconded by Commissioner Sampen.

Aye: Yohanna, Sampen, Auerbach, Fishman, Goldfein, and Eisterhold

Nay: None

Motion Approved 6-0

VI. Public Hearing: Bank, Credit Union, Savings and Loans and Legal Nonconforming Uses – Zoning Code Text Amendment

The policy discussion focused around the nonconforming section of the Zoning Code. An existing nonconforming use is not allowed to move within the community. Banks and savings and loans are not currently allowed in the B-1 District. This text amendment, as proposed, would not allow new banks to operate in the B-1 Zoning District, but would only allow existing legal nonconforming banks, credit unions, and savings and loans, which are currently located in the Business/Residential Transitional Overlay area, to move within this same area. The Business/Residential Transitional Overlay area is located between Monticello and Harding Avenues.

Commissioner Sampen asked why we are making an exception for banks. Mr. Cook stated that banks are currently prohibited along Lincoln Avenue. The Village is not adding additional banks, just the opportunity to move to another site. This text amendment is the process for them to move.

Commissioner Auerbach asked if any bank can move to Lincoln Avenue. There are only three banks that can apply to move within that District; the three banks are Brickyard Bank, Liberty Bank, and Charter One Bank.

Chairman Eisterhold swore in the Petitioner Mimi Sallis, President and CEO of Brickyard Bank. Petitioner Sallis presented the reasons for moving to another facility. The building is one that they own; the space they are in now is leased. Another reason for moving is that they would like to add a one-lane drive thru.

Mr. Passman brought to the Commission's attention that if this text amendment is approved, Brickyard Bank would have to come before the Plan Commission again for a Special Use for a drive thru and a variation for off street parking.

Chairman Eisterhold asked if anyone in the audience would like to speak on this Special Use. He noted that no one came forward.

Motion to Approve a Special Use for Banks, Credit Unions, Savings and Loans, and Legal Nonconforming Uses – Zoning Code Text Amendment made by Commissioner Yohanna, and Seconded by Commissioner Fishman.

Aye: Yohanna, Fishman, Auerbach, Goldfein, Sampen, and Eisterhold

Nay: None

Motion Approved 6-0

VII. Public Hearing: Medical Cannabis Dispensaries and Cultivation Centers – Zoning Code Text Amendment (Continued from April 2, 2014)



VILLAGE OF LINCOLNWOOD
Community Development Department

Public Hearing Application
Special Use and PUD

SUBJECT PROPERTY

Property Address: 7017 N Central Park Ave

Permanent Real Estate Index Number(s): 10-35-200-040-0000

Zoning District: _____ Lot Area: _____

List all existing structures on the property. Include fencing, sheds, garages, pools, etc.

Existing chain link fence, Equipment shelter, and Cell Tower

Are there existing development restrictions affecting the property? ___ Yes X No
(Examples: previous Variations, conditions, easements, covenants) If yes, describe: _____

REQUESTED ACTION

- Special Use - Residential
- Special Use - Non-Residential
- Planned Unit Development (PUD)
- Other Unmanned Telecommunications Facility

PROJECT DESCRIPTION

Describe the Request and Project: Remove all existing verizon antennas and radios @ 30' and install 9 new antennas with associated radios on an existing wireless communications tower @ . Installation of New equipment cabinets and a diesel generator at grade in the existing lease area, as per plans.

PROPERTY OWNER/PETITIONER INFORMATION

Property Owner(s): *(List all Beneficiaries if Trust)*

Name: American Tower Corp (Tower Owner)

Address: 1101 Perimeter Drive, Suite 700 Schaumburg IL 60173

Telephone: (847) 240-1508 Fax: (_____) _____ E-mail: _____

Petitioner: *(if Different from Owner)*

Name: Jim Moser, AICP agent For Verizon Wireless Relationship to Property: Lessee

Address: 55 W. Monroe St. #3360

Telephone: (312) 735-5499 Fax: (_____) _____ E-mail: jmoser@ph1c.com

SPECIAL USE STANDARDS

To be approved, each Special Use request must meet certain specific standards. These standards are listed below. After each listed standard, explain how the Special Use request satisfies the listed standard. Use additional paper if necessary.

1. Please explain how the Special Use is necessary for the public convenience at this location and the subject property is deemed suitable for the use. (Please explain in detail)

This Location was Chosen Because there is already an existing wireless facility on the property and Verizon already has equipment at this location. This will provide better coverage to the residents of village of lincolnwood.

2. Please explain how the Special Use is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected.

Due to the diminutive size of the proposed equipment . it will not have an adverse effect on the surroundings properties .PCS wireless transmission do not interfere with any other form of communication ,wether public or private , or in any way endanger the public health, safety, morals or general welfare. Wireless telephones provide an alternate communication system which has repeatedly proven its effectiveness in emergency situations & is common being used by police and Fire department to protect the general publics health, safety & welfare

3. Please explain how this Special Use would not cause substantial injury to the value of other property in the neighborhood in which it is located.

Due to the minimal size of the leased parcel and the nature of the surrounding uses, there will be little impact on the character of the locality with no adverse effect on existing or future developement in the area. Enhanced wireless communications will have a positive influence on the development of this area.

SPECIAL USE STANDARDS (Continued)

4. The Special Use is consistent with the goals and policies of the Comprehensive Plan.

the special use will be in harmony with the spirit & intent of the village of Lincolnwood Ordinance. Wireless telephones provide an alternate communication system which has repeatedly proven its effectiveness in emergency situations & is common being used by police and Fire department to protect the general public's health, safety & welfare. Therefore the granting of the special use will be in conformance with the general and specific purposes imposed by the village of Lincolnwood Zoning Ordinance and the Comprehensive Plan

5. The Special Use would not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the underlying Zoning District.

There is already an existing wireless communication facility on the property, so the special use would not interfere with any current patterns of development. There will be minimum impact on the character of the locality with no adverse effect on the future development in the area. Enhanced wireless service will have a positive influence on development in the area.

6. Please explain how the Special Use is so designed to provide adequate utilities, access roads, drainage, or necessary facilities.

The Special Use is designed to provide better wireless communication coverage to the Village of Lincolnwood. Wireless telephone technology provides many benefits to the communities it serves, including 911 program allowing motorists to summon aid and report dangerous situations, support for emergency services by providing wireless communications to police, firefighters, and paramedics, a backup system to the land-line system in the event of a natural or man-made disaster, communication capabilities in remote areas, and support for the busy lives of people in the area reducing stress and increasing productivity.

7. Please explain how the Special Use is so designed to provide ingress and egress to minimize traffic congestion on public streets.

A PCS facility is unstaffed, therefore there will be no impact on the existing traffic, nor will there be any traffic hazards generated. Maintenance personnel will visit the facility once or twice per month in a van sized vehicle. Access will be provided via existing entrances. Existing parking at the subject property is more than adequate for the expected infrequent maintenance visits to this site.



VILLAGE OF LINCOLNWOOD COMMUNITY DEVELOPMENT DEPARTMENT

PUBLIC HEARING FEES AND DEPOSIT SCHEDULE

Plan Commission

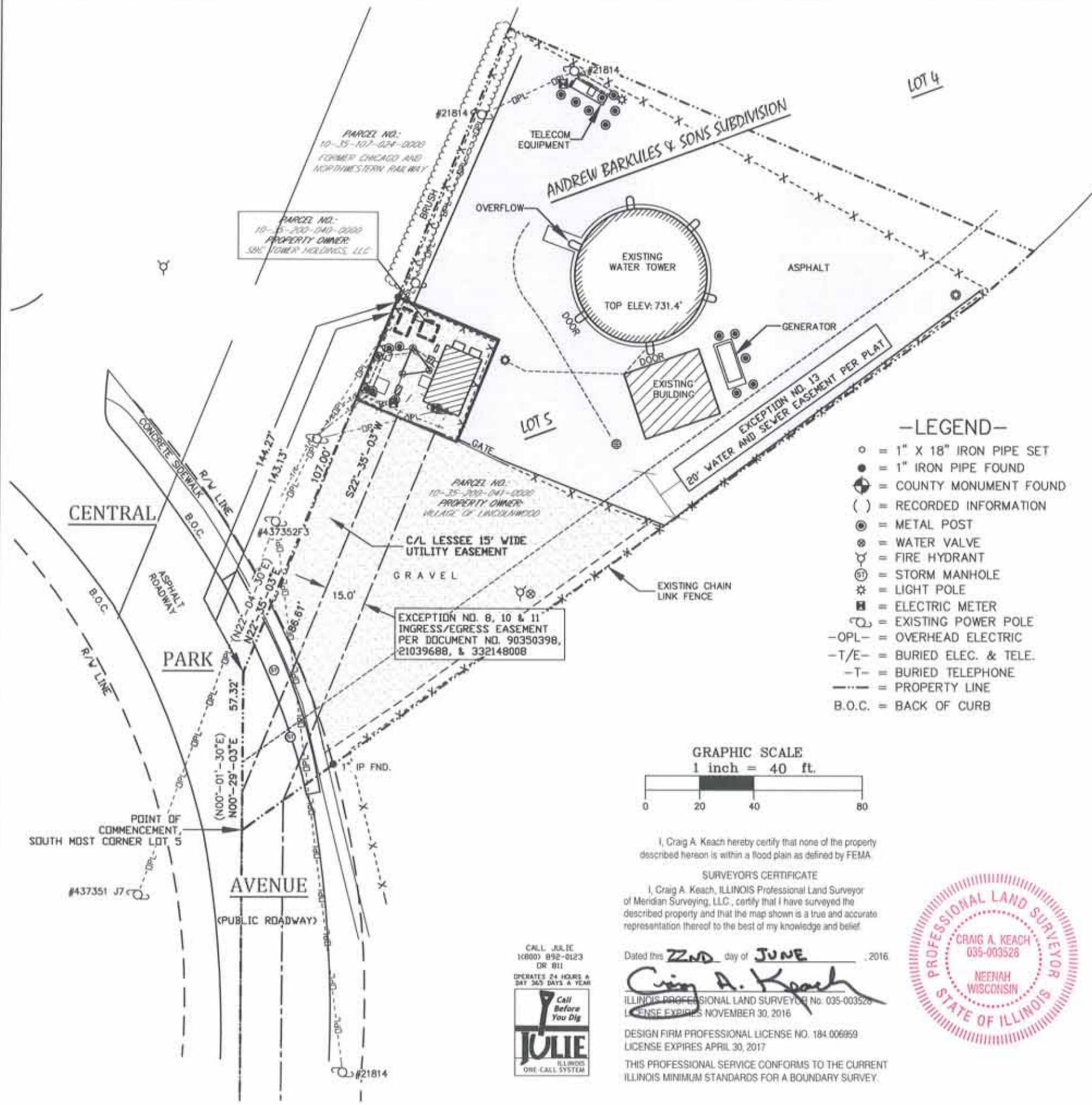
Hearing Type	Hearing Fee*	Hearing Deposit**
Special Use - Non Residential Property	\$500	\$2,000
Special Use - Residential Property	\$250	NA
Reasonable Accommodation	\$250	\$2,000
Text Amendment	\$500	\$2,000
Map Amendment	\$500	\$2,000
Planned Unit Development (PUD) 0 to 5 Acres	\$1,250	\$10,000
Planned Unit Development (PUD) 5 to 10 Acres	\$2,500	\$10,000
Planned Unit Development (PUD) Over 10 Acres	\$3,000	\$10,000
Minor Subdivision	\$250	NA
Major Subdivision	\$500	\$2,000

Zoning Board of Appeals

Hearing Type	Hearing Fee*	Hearing Deposit**
Major Variation - Non Residential Property	\$500	NA
Major Variation - Residential Property	\$250	NA
Variation - Off-Street Parking	\$500	NA
Variation - Design Standards	\$250	NA
Minor Variation	\$125	NA
Sign Variation/Special Signs	\$500	NA

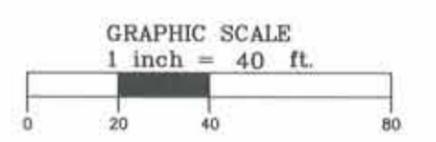
* Hearing fees are non-refundable.

** Hearing deposits shall be applied to out-of-pocket expenses incurred by the Village as the result of the Public Hearing process. If additional costs are incurred, or if no deposit is provided, such out-of-pocket expenses will be billed directly to the applicant.



EXISTING TOWER BASE
 LATITUDE: 42°-00'-32.83"
 LONGITUDE: 87°-43'-07.36"
 (Per North American Datum of 83/2011)
 Top Whip Antenna Elevation: 710.4'
 (Highest Point)
 Top of Tower Elevation: 700.5'
 Ground Elevation: 598.8'
 (Per National Geodetic Vertical Datum of 1988)

- LEGEND-**
- = 1" X 18" IRON PIPE SET
 - = 1" IRON PIPE FOUND
 - ⊙ = COUNTY MONUMENT FOUND
 - () = RECORDED INFORMATION
 - ⊙ = METAL POST
 - ⊙ = WATER VALVE
 - ⊙ = FIRE HYDRANT
 - ⊙ = STORM MANHOLE
 - ⊙ = LIGHT POLE
 - ⊙ = ELECTRIC METER
 - ⊙ = EXISTING POWER POLE
 - OPL- = OVERHEAD ELECTRIC
 - T/E- = BURIED ELEC. & TELE.
 - T- = BURIED TELEPHONE
 - - - = PROPERTY LINE
 - B.O.C. = BACK OF CURB



I, Craig A. Keach hereby certify that none of the property described hereon is within a flood plain as defined by FEMA.

SURVEYOR'S CERTIFICATE

I, Craig A. Keach, ILLINOIS Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 22nd day of JUNE, 2016.

Craig A. Keach
 ILLINOIS PROFESSIONAL LAND SURVEYOR No. 035-003526
 LICENSE EXPIRES NOVEMBER 30, 2016

DESIGN FIRM PROFESSIONAL LICENSE NO. 184.006959
 LICENSE EXPIRES APRIL 30, 2017

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



WETLAND NOTE:

-THE PRESENCE AND LOCATION OF WETLANDS HAS NOT BEEN DETERMINED ON THIS PROPERTY. WETLANDS SHOULD ONLY BE DETERMINED BY ACTUAL FIELD DELINEATION PERFORMED BY A QUALIFIED WETLAND SPECIALIST.

SURVEY NOTES:

-THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN.

-THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL. THIS SURVEY REPRESENTS THE LEASE AREA AND EASEMENTS ONLY.

-PRIVATE UTILITIES LOCATED ON 8-19-15 BY LUCKY LOCATORS INC. 1041 BLUE RIDGE PKWY, ALGONQUIN, IL 60102.



SURVEYED FOR:

Edge
 Consulting Engineers, Inc.

624 Water Street
 Prairie du Sac, WI 53578
 608.644.1449 voice
 608.644.1549 fax
 www.edgeconsult.com

SURVEYED FOR:

verizon

1515 WOODFIELD ROAD
 SUITE 1400
 SCHAUMBURG, IL 60173

MERIDIAN
 SURVEYING, LLC

N8774 Firelane 1 Office: 920-993-0881
 Menasha, WI 54952 Fax: 920-273-6037

SITE NAME: LINCOLNWOOD
 SITE NUMBER: 277176
 SITE ADDRESS:
 7000 N. CENTRAL PARK AVENUE
 LINCOLNWOOD, IL 60712

PROPERTY OWNER:
 SBC TOWER HOLDINGS, LLC
 909 CHESTNUT
 ST. LOUIS, MO 63101

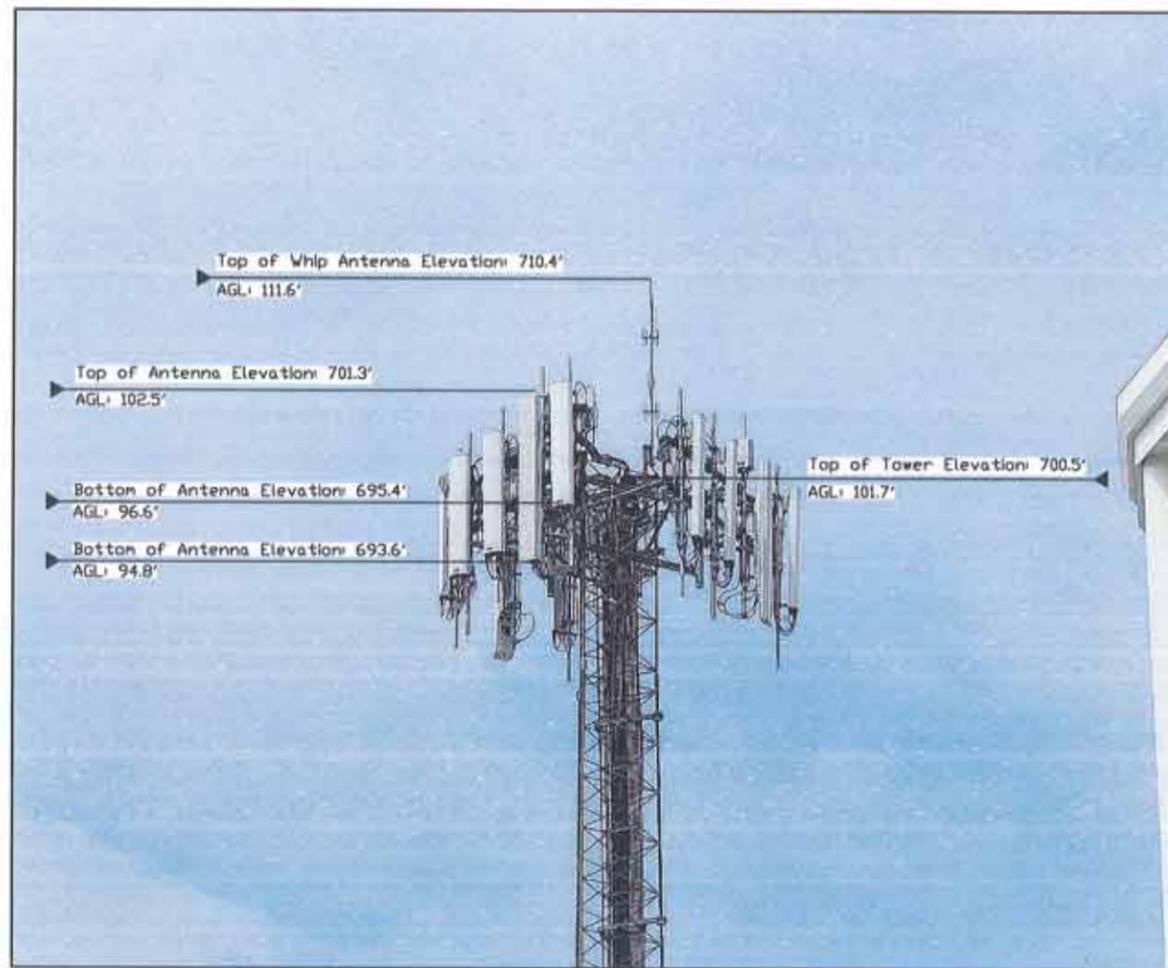
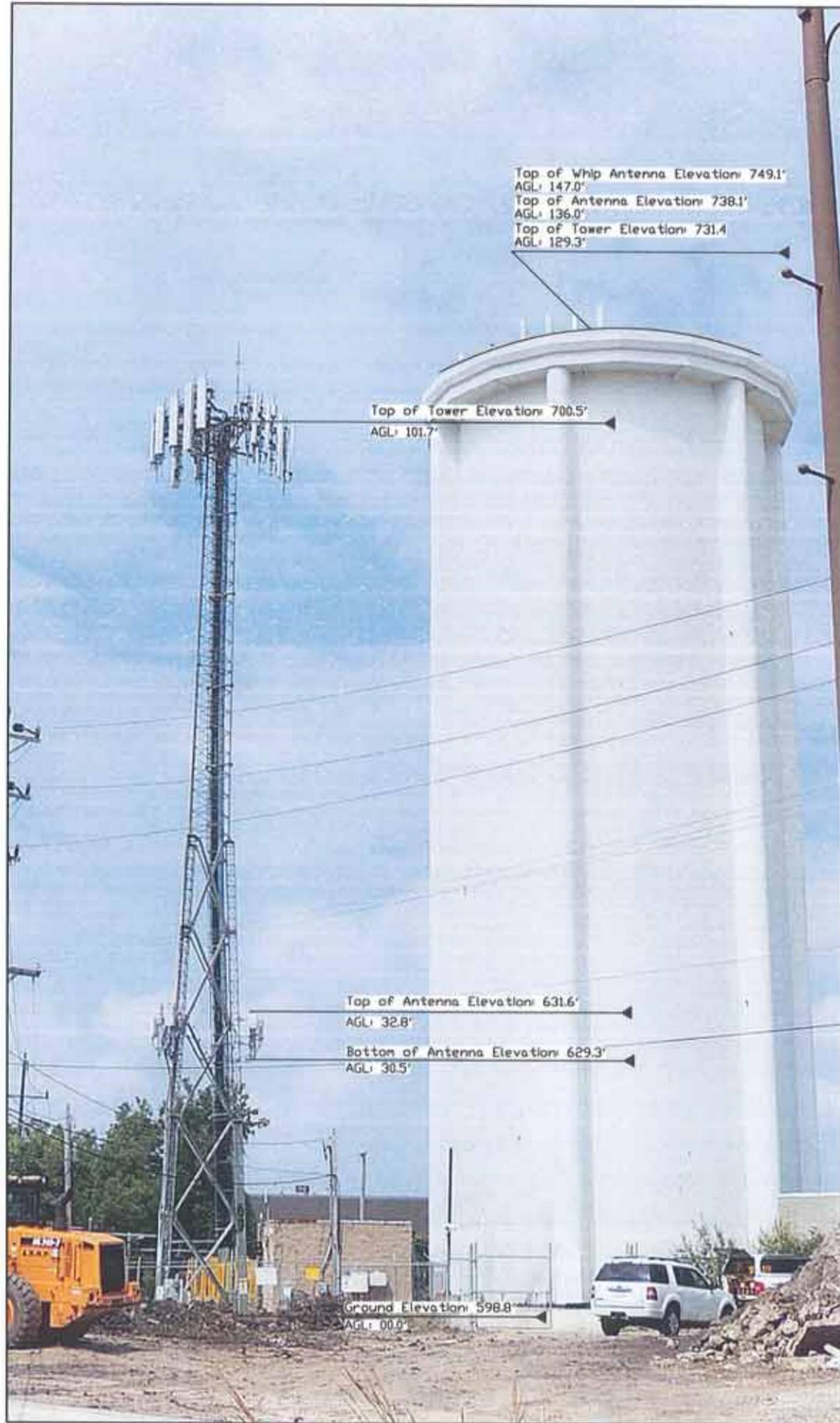
TOWER OWNER:
 AMERICAN TOWER CORP.
 116 HUNTINGTON AVENUE
 BOSTON, MA 02116

PARCEL NO.: 10-35-200-040
 ZONED: MANUFACTURING

LEASE EXHIBIT
 FOR
 VERIZON WIRELESS PERSONAL COMMUNICATIONS LP d/b/a VERIZON WIRELESS
 A PART OF THE NW1/4 OF THE NE1/4, SECTION 35, T.41N., R.13E., OF THE 3rd P.M., VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS

NO.	DATE	DESCRIPTION	BY
7	6-21-16	Revised Lease Parcel	J.B.
6	5-4-16	Added Utility Ease.	J.B.
5	2-3-16	Revised Lease Parcel	J.D.
4	12-22-15	Added Lease Parcel	J.D.
3	8-31-15	Added Title Report	J.B.
2	8-26-15	Added Utilities	J.B.
NO.	DATE	DESCRIPTION	BY

DRAWN BY: J.D. FIELD WORK DATE: 6-29-15
 CHECKED BY: C.A.K. FIELD BOOK: M-34, PG. 28
 JOB NO.: 8347 SHEET 1 OF 4



SURVEYED FOR:

Edge
 Consulting Engineers, Inc.
 624 Water Street
 Prairie du Sac, WI 53578
 608.644.1449 voice
 608.644.1549 fax
 www.edgeconsult.com

SURVEYED FOR:

 1515 WOODFIELD ROAD
 SUITE 1400
 SCHAUMBURG, IL 60173

MERIDIAN
 SURVEYING, LLC
 N8774 Firelane 1 Office: 920-993-0881
 Menasha, WI 54952 Fax: 920-273-6037

SITE NAME: LINCOLNWOOD
 SITE NUMBER: 277176
 SITE ADDRESS:
 7000 N. CENTRAL PARK AVENUE
 LINCOLNWOOD, IL 60712

PROPERTY OWNER:
 SBC TOWER HOLDINGS, LLC
 909 CHESTNUT
 ST. LOUIS, MO 63101
 TOWER OWNER:
 AMERICAN TOWER CORP.
 116 HUNTINGTON AVENUE
 BOSTON, MA 02116
 PARCEL NO.: 10-35-200-040
 ZONED: MANUFACTURING

LEASE EXHIBIT
 FOR
 VERIZON WIRELESS PERSONAL
 COMMUNICATIONS LP d/b/a VERIZON WIRELESS
 A PART OF THE NW1/4 OF THE NE1/4,
 SECTION 35, T.41N., R.13E., OF THE
 3rd P.M., VILLAGE OF LINCOLNWOOD,
 COOK COUNTY, ILLINOIS

NO.	DATE	DESCRIPTION	BY
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DRAWN BY: J.D. FIELD WORK DATE: 6-29-15
 CHECKED BY: C.A.K. FIELD BOOK: M-34, PG. 28
 JOB NO.: 8347 SHEET 3 OF 4

PARENT PARCEL

LOT 5 IN ANDREW BARKULES AND SON'S SUBDIVISION OF PART OF THE NORTH WEST QUARTER OF THE NORTH EAST QUARTER OF SECTION 35, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AND

LOT 9 IN LINCOLNWOOD TOWN CENTER SUBDIVISION BEING A PART OF THE NORTH HALF OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT OF SUBDIVISION RECORDED MAY 26, 1989 AS DOCUMENT NUMBER 89242443 IN COOK COUNTY, ILLINOIS.

PERMANENT TAX NUMBER(S): 10-35-200-040; 10-35-200-041; 10-35-204-001

TITLE REPORT REVIEW

TITLE REPORT: WHEATLAND TITLE GUARANTY COMPANY

COMMITMENT NO. RKL-2015CO-11832.0

EFFECTIVE DATE: AUGUST 12, 2015

FEE SIMPLE TITLE VESTED IN: VILLAGE OF LINCOLNWOOD, ILLINOIS, A MUNICIPAL CORPORATION

NOTE: THE STATEMENT OF APPLICABILITY REFERS TO THE LEASE SITE AND ANY EASEMENTS PERTINENT THEREUNTO WHERE SPECIFIC ENCUMBRANCES AFFECT THE LEASE SITE AND/OR A PERTINENT EASEMENT, THEY ARE IDENTIFIED AS SUCH.

SCHEDULE B-II

(1-7) THESE ARE GENERAL STATEMENTS AND NOT SPECIFIC ENCUMBRANCES.

(8) A SITE AGREEMENT NO. 64 DATED MAY 17, 1990 AND RECORDED JULY 20, 1990 AS DOCUMENT NO. 90350397 MADE BY VILLAGE OF LINCOLNWOOD TO CELLULAR ONE CHICAGO, AND ALL RIGHTS THEREOF AND ALL ACTS DONE OR SUFFERED THEREUNDER BY SAID LESSEE OR BY ANY PARTY CLAIMING BY, THROUGH OR UNDER SAID LESSEE, RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **THIS IS THE ORIGINAL LEASE AND EASEMENT AGREEMENT FOR THE EXISTING TOWER SITE. APPLIES AND IS PLOTTED AND SHOWN.**

(9) A MEMORANDUM OF LEASE AND OPTION DATED NOVEMBER 2, 2000 AND RECORDED MAY 10, 2001 AS DOCUMENT NO. 0010393597 MADE BY VILLAGE OF LINCOLNWOOD TO COOK INLET / VOICE STREAM OPERATING COMPANY, L.L.C., AND ALL RIGHTS THEREOF AND ALL ACTS DONE OR SUFFERED THEREUNDER BY SAID LESSEE OR BY ANY PARTY CLAIMING BY, THROUGH OR UNDER SAID LESSEE, RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **THIS AGREEMENT IS NOT DESCRIPTIVE. APPLIES TO PARENT PARCEL, BUT CANNOT BE ACCURATELY MAPPED.**

(10) A MEMORANDUM OF SUBLEASE AND PURCHASE OPTION DATED JUNE 22, 2001 AND RECORDED SEPTEMBER 23, 2002 AS DOCUMENT NO. 0021039688 MADE BY SBC TOWER HOLDINGS, LLC TO SOUTHERN TOWERS, INC., AND ALL RIGHTS THEREOF AND ALL ACTS DONE OR SUFFERED THEREUNDER BY SAID LESSEE OR BY ANY PARTY CLAIMING BY, THROUGH OR UNDER SAID LESSEE, RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **THIS IS A LEASE AND EASEMENT AGREEMENT FOR THE EXISTING TOWER SITE. APPLIES AND IS PLOTTED AND SHOWN.**

(11) A MEMORANDUM OF SITE AGREEMENT DATED AUGUST 29, 2002 AND RECORDED NOVEMBER 17, 2003 AS DOCUMENT NO. 0332148008 MADE BY SOUTHERN TOWERS, INC. TO AT&T WIRELESS, PCS, BY AND THROUGH AT&T WIRELESS SERVICES, INC. D/B/A AT&T WIRELESS, AND ALL RIGHTS THEREOF AND ALL ACTS DONE OR SUFFERED THEREUNDER BY SAID LESSEE OR BY ANY PARTY CLAIMING BY, THROUGH OR UNDER SAID LESSEE, RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **THIS IS A LEASE AND EASEMENT AGREEMENT FOR THE EXISTING TOWER SITE. APPLIES AND IS PLOTTED AND SHOWN.**

(12) AN ASSIGNMENT AND ASSUMPTION OF LEASE DATED FEBRUARY 28, 2007 AND RECORDED FEBRUARY 6, 2009 AS DOCUMENT NO. 0903704113 MADE BY SOUTHERN TOWERS, LLC TO AMERICAN TOWER ASSET SUB II, L.L.C (ASSIGNEE), AND ALL RIGHTS THEREOF AND ALL ACTS DONE OR SUFFERED THEREUNDER BY SAID ASSIGNEE OR BY ANY PARTY CLAIMING BY, THROUGH OR UNDER SAID ASSIGNEE, RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **THIS IS THE CURRENT LEASE AGREEMENT FOR THE EXISTING TOWER SITE. APPLIES AND IS PLOTTED AND SHOWN.**

(13) EASEMENTS AND BUILDING LINES AS SHOWN ON THE PLAT OF SUBDIVISION RECORDED JUNE 24, 1966 AS DOCUMENT NO. 19867378. **PLAT CONTAINS A 20' WIDE WATER AND SEWER EASEMENT. APPLIES TO PARENT PARCEL AND IS PLOTTED AND SHOWN.**

(14) AN AGREEMENT DATED APRIL 18, 1989 AND RECORDED MAY 30, 1989 AS DOCUMENT NO. 89242442 MADE BY VILLAGE OF LINCOLNWOOD TO LINCOLNWOOD ASSOCIATES RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **DOES NOT APPLY.**

(15) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS CONTAINED IN DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, RIGHTS AND EASEMENTS FOR LINCOLNWOOD TOWN CENTER RECORDED MAY 30, 1989 AS DOCUMENT NO. 89242443 IN THE COOK COUNTY RECORDER'S OFFICE. **DOES NOT APPLY.**

(16) AN EASEMENT DATED NOVEMBER 7, 1989 AND RECORDED FEBRUARY 16, 1990 AS DOCUMENT NO. 90078130 MADE BY LINCOLNWOOD ASSOCIATES TO BELL & HOWELL COMPANY RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **DOES NOT APPLY.**

(17) ORDINANCE NO. Z2011-2929 GRANTING SPECIAL USE PERMIT FOR THE CONSTRUCTION OF PERSONAL WIRELESS SERVICE FACILITIES DATED JANUARY 20, 2011 AND RECORDED APRIL 6, 2011 AS DOCUMENT NO. 1109644010 MADE BY VILLAGE OF LINCOLNWOOD RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **ORDINANCE GRANTING PERMISSION TO INSTALL ANTENNAS ON THE EXISTING TOWER.**

(18) ORDINANCE NO. 2014-3097 GRANTING SPECIAL USE PERMIT FOR THE CONSTRUCTION OF PERSONAL WIRELESS SERVICE FACILITIES DATED JUNE 3, 2014 AND RECORDED JUNE 18, 2014 AS DOCUMENT NO. 1416916045 MADE BY GRANTING SPECIAL USE PERMIT FOR THE CONSTRUCTION OF PERSONAL WIRELESS SERVICE FACILITIES RECORDED IN THE COOK COUNTY RECORDER'S OFFICE. **ORDINANCE GRANTING PERMISSION TO INSTALL ANTENNAS ON THE EXISTING TOWER.**

(19) UPON A CONVEYANCE OR MORTGAGE OF SAID PROPERTY IN QUESTION, WE SHOULD BE FURNISHED WITH A CERTIFIED COPY OF PROPER RESOLUTIONS PASSED BY THE PROPER PARTIES AUTHORIZING THE EXECUTION OF THE DOCUMENTS OF CONVEYANCE OR MORTGAGE.

(20) EXISTING UNRECORDED LEASES, IF ANY, AND ALL RIGHTS THEREOF AND ALL ACTS DONE OR SUFFERED THEREUNDER BY ANY LESSEE OR BY ANY PARTY CLAIMING BY, THROUGH OR UNDER SAID LEASE OR LESSEES.



LESSEE EQUIPMENT LEASE AREA

A PART OF LOT 5 IN ANDREW BARKULES AND SON'S SUBDIVISION, BEING LOCATED IN THE NORTHWEST QUARTER (NW1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION THIRTY-FIVE (35), TOWNSHIP FORTY-ONE (41) NORTH, RANGE THIRTEEN (13), EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS CONTAINING 36 SQUARE FEET OF LAND AND BEING DESCRIBED AS:

COMMENCING AT THE SOUTH MOST CORNER OF SAID LOT 5 OF ANDREW BARKULES AND SON'S SUBDIVISION; THENCE N00°-29'-03"E (RECORDED AS N00°-01'-30"E) 57.32 FEET ALONG THE EAST LINE OF SAID LOT 5; THENCE N22°-35'-03"E (RECORDED AS N22°-04'-30"E) 143.13 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 5; THENCE S67°-24'-57"E 11.87 FEET TO THE POINT OF BEGINNING; THENCE S67°-29'-07"E 6.00 FEET; THENCE S22°-30'-53"W 6.00 FEET; THENCE N67°-29'-07"W 6.00 FEET; THENCE N22°-30'-53"E 6.00 FEET TO THE POINT OF BEGINNING, BEING SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

LESSEE GENERATOR LEASE AREA

A PART OF LOT 5 IN ANDREW BARKULES AND SON'S SUBDIVISION, BEING LOCATED IN THE NORTHWEST QUARTER (NW1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION THIRTY-FIVE (35), TOWNSHIP FORTY-ONE (41) NORTH, RANGE THIRTEEN (13), EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS CONTAINING 45 SQUARE FEET OF LAND AND BEING DESCRIBED AS:

COMMENCING AT THE SOUTH MOST CORNER OF SAID LOT 5 OF ANDREW BARKULES AND SON'S SUBDIVISION; THENCE N00°-29'-03"E (RECORDED AS N00°-01'-30"E) 57.32 FEET ALONG THE EAST LINE OF SAID LOT 5; THENCE N22°-35'-03"E (RECORDED AS N22°-04'-30"E) 144.27 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 5; THENCE S67°-24'-57"E 3.36 FEET TO THE POINT OF BEGINNING; THENCE S67°-29'-07"E 5.00 FEET; THENCE S22°-30'-53"W 9.00 FEET; THENCE N67°-29'-07"W 5.00 FEET; THENCE N22°-30'-53"E 9.00 FEET TO THE POINT OF BEGINNING, BEING SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

SURVEYED FOR:



SURVEYED FOR:



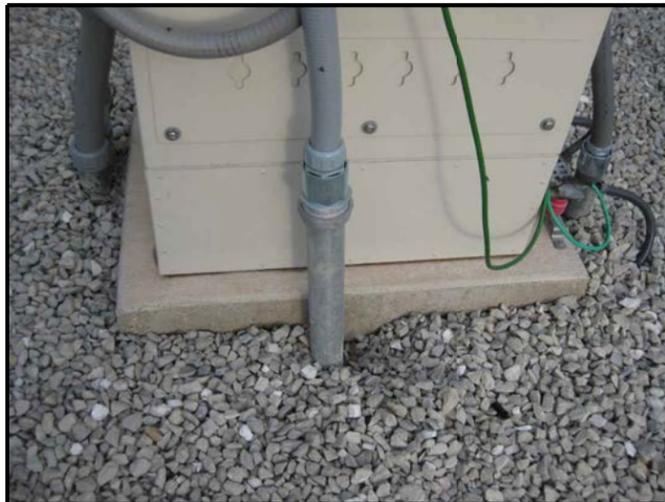
SITE NAME: LINCOLNWOOD
 SITE NUMBER: 277176
 SITE ADDRESS: 7000 N. CENTRAL PARK AVENUE, LINCOLNWOOD, IL 60712

PROPERTY OWNER: SBC TOWER HOLDINGS, LLC, 909 CHESTNUT ST. LOUIS, MO 63101
 TOWER OWNER: AMERICAN TOWER CORP., 116 HUNTINGTON AVENUE, BOSTON, MA 02116
 PARCEL NO.: 10-35-200-040
 ZONED: MANUFACTURING

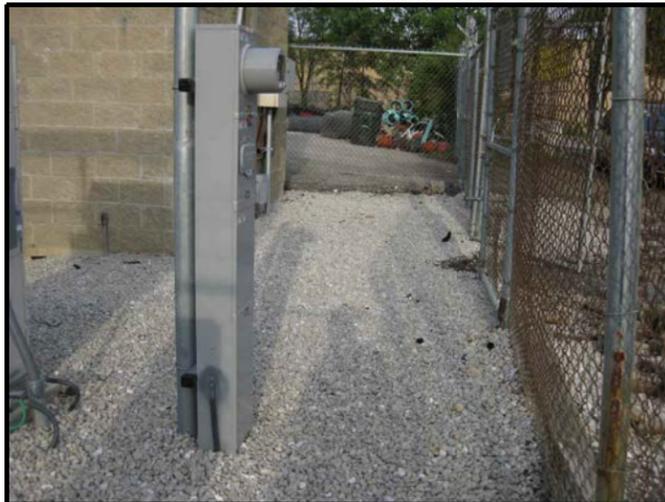
LEASE EXHIBIT FOR VERIZON WIRELESS PERSONAL COMMUNICATIONS LP d/b/a VERIZON WIRELESS. A PART OF THE NW1/4 OF THE NE1/4, SECTION 35, T.41N., R.13E., OF THE 3rd P.M., VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS

NO.	DATE	DESCRIPTION	BY
7	6-21-16	Revised Lease Parcel	J.B.
6	5-4-16	Added Utility Ease.	J.B.
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4	12-22-15	Added Lease Parcel	J.D.
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2	8-26-15	Added Utilities	J.B.

DRAWN BY: J.D.	FIELD WORK DATE: 6-29-15
CHECKED BY: C.A.K.	FIELD BOOK: M-34, PG. 28
JOB NO.: 8347	SHEET 4 OF 4



EXISTING CONCRETE SLAB



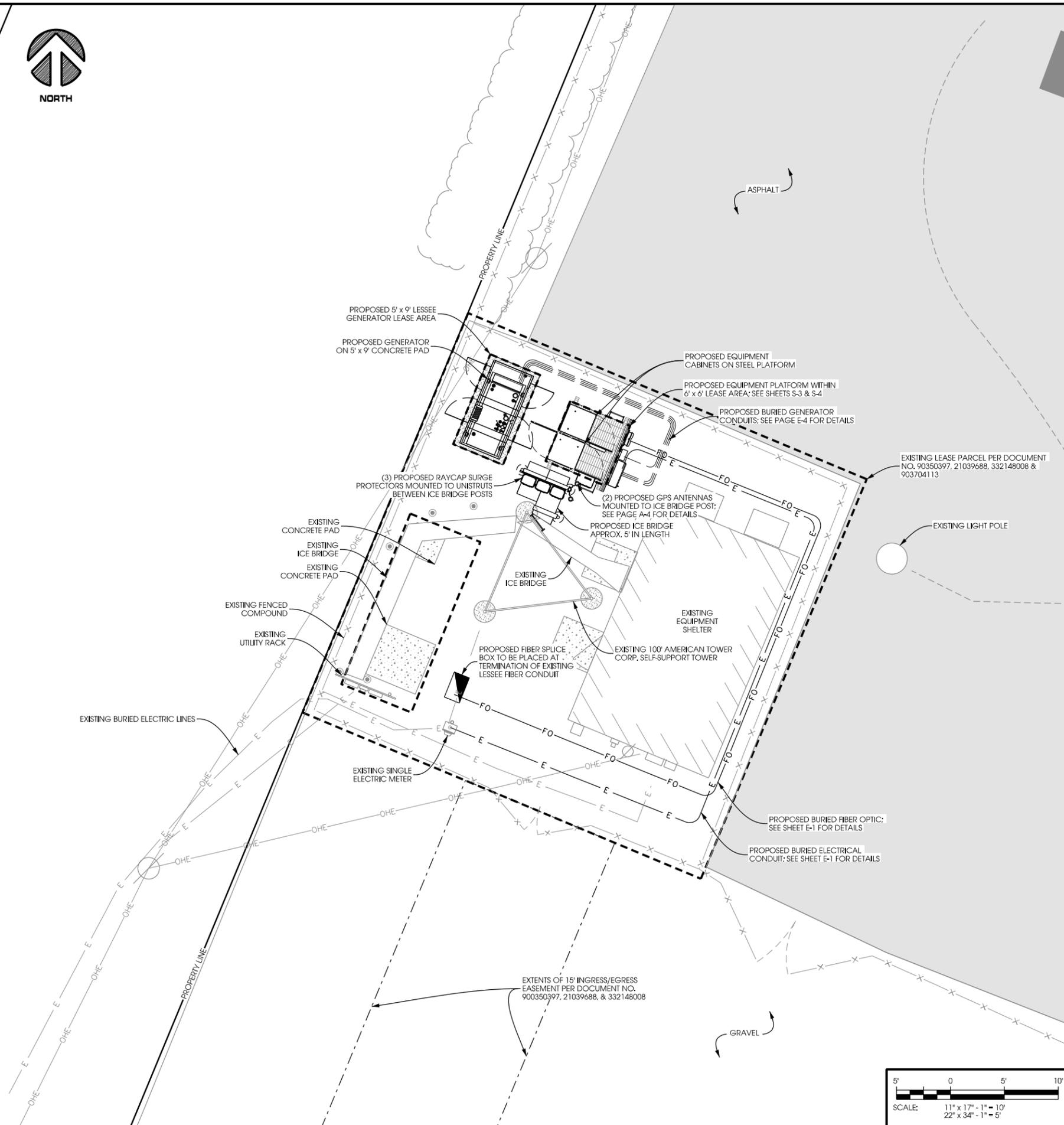
**EXISTING SINGLE ELECTRIC METER
[LOOKING EAST]**



**SITE OVERVIEW
[LOOKING NORTHEAST]**



NORTH



Edge
Consulting Engineers, Inc.
624 Water Street
Proffle du Sac, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

verizon
1515 E. Woodfield Rd
10th Floor
Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	C-3.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

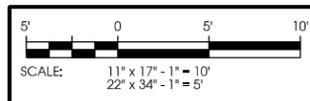
REV.	DATE	STAMPED FINAL DWGS	INT.

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

SHEET TITLE
**COMPOUND PLAN
- PROPOSED -**

SHEET NUMBER
C-3



I:\projects\04\scf\scf\projects\12981\CAD\Plan\W\SC2M CD3 C-3.dgn



EXISTING FENCED COMPOUND

PROPERTY LINE

EXISTING LEASE PARCEL PER DOCUMENT NO. 90350397, 21039688, 332148008 & 903704113

ASPHALT

PROPOSED 5' x 9' LEASE AREA

PROPOSED GENERATOR ON 5' x 9' CONCRETE PAD

PROPOSED CHARLES BATTERY CABINET CUBE-BB48E1HN1

PROPOSED CHARLES EQUIPMENT CABINET #PM63912UN3

PROPOSED 6' x 6' LEASE AREA

RELOCATED CIENA 3931 SERVICE DELIVERY SWITCH

PROPOSED UTILITIES AND ALARM JUNCTION BOXES. SEE PAGE E-2 FOR DETAILS

PROPOSED BURIED GENERATOR CONDUITS: SEE PAGE E-4 FOR DETAILS

PROPOSED ICE BRIDGE SECTION: 2' x 3'

(3) PROPOSED RAYCAP SURGE PROTECTORS MOUNTED TO UNISTRUTS BETWEEN ICE BRIDGE POSTS: SEE SHEET A-4 FOR DETAILS

(2) PROPOSED GPS ANTENNAS MOUNTED TO ICE BRIDGE POST

PROPOSED ICE BRIDGE: APPROX. 5' IN LENGTH

EXISTING ICE BRIDGE

EXISTING 100' AMERICAN TOWER CORP. SELF-SUPPORT TOWER

EXISTING ICE BRIDGE

PROPOSED CABLE LADDER

EXISTING CABINET

EXISTING EQUIPMENT SHELTER

Edge
Consulting Engineers, Inc.
624 Water Street
Pfeiffer du Sac, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

verizon
1515 E. Woodfield Rd
10th Floor
Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	C-4.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

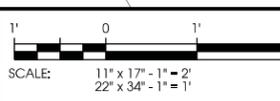
REV.	DATE	STAMPED FINAL DWGS	INT.

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C-4



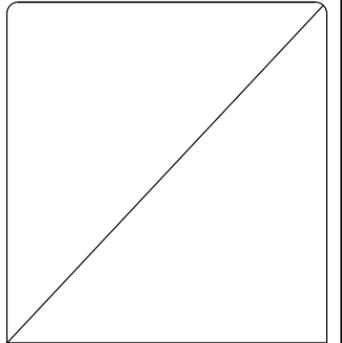
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LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	S-2.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.



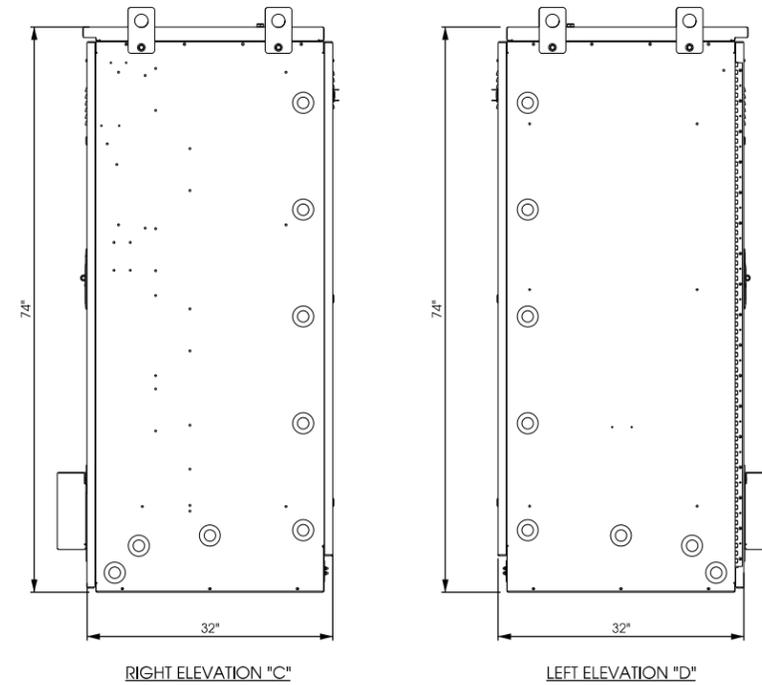
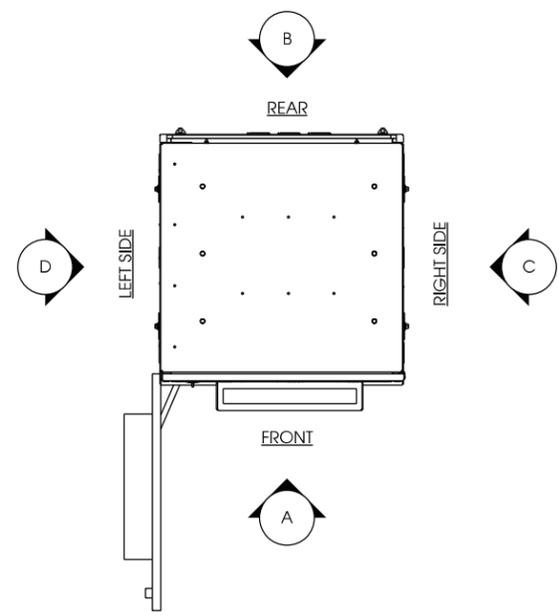
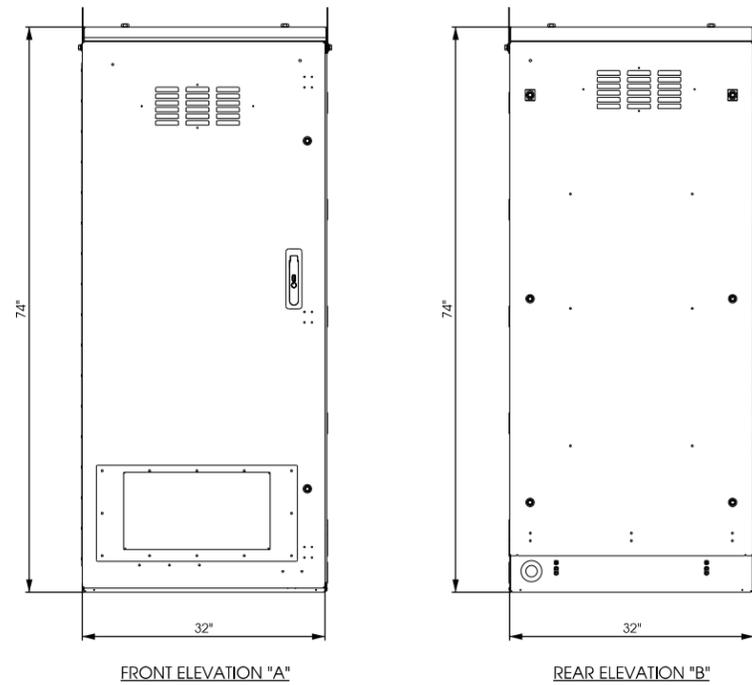
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LINCOLNWOOD
 (277176)
 7000 N. CENTRAL PARK AVE.
 LINCOLNWOOD, IL

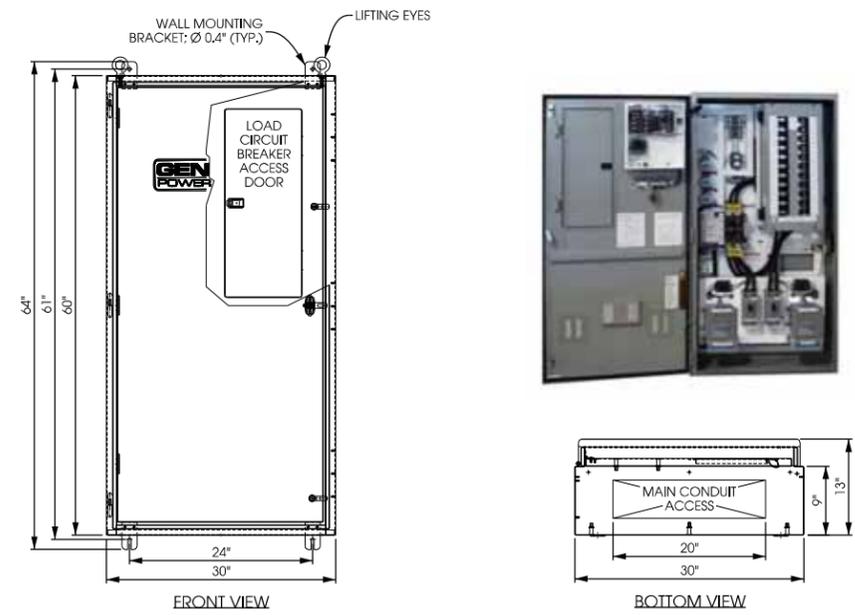
SHEET TITLE
**EQUIPMENT
 DETAILS**

SHEET NUMBER
S-2

CHARLES CUBE-BB48E1HN1	
DIMENSIONS	32" W x 32" W x 74" H
WEIGHT	900 LBS (EMPTY)
WEIGHT	2685 LBS (w/Nf-Cd BTY)
BATTERY SUPPORT	5 STRINGS SAFT TEL. 180. 48V
THERMAL	DAC



A CHARLES CUBE-BB48E1HN1
 SCALE: NTS



ILC RATED AMPS	VOLTAGE	PHASE	ENCLOSURE HEIGHT	ENCLOSURE WIDTH	ENCLOSURE DEPTH	WEIGHT (LBS)
200	120/240	1	60"	30"	10"	350
200	120/208	3	60"	30"	10"	350

B INTEGRATED LOAD CENTER
 SCALE: NTS

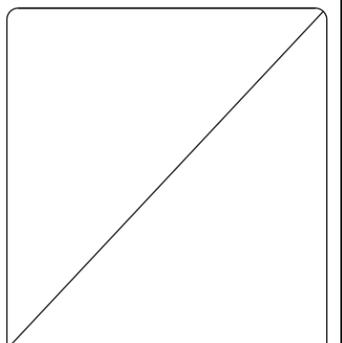
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LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	S-3.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.



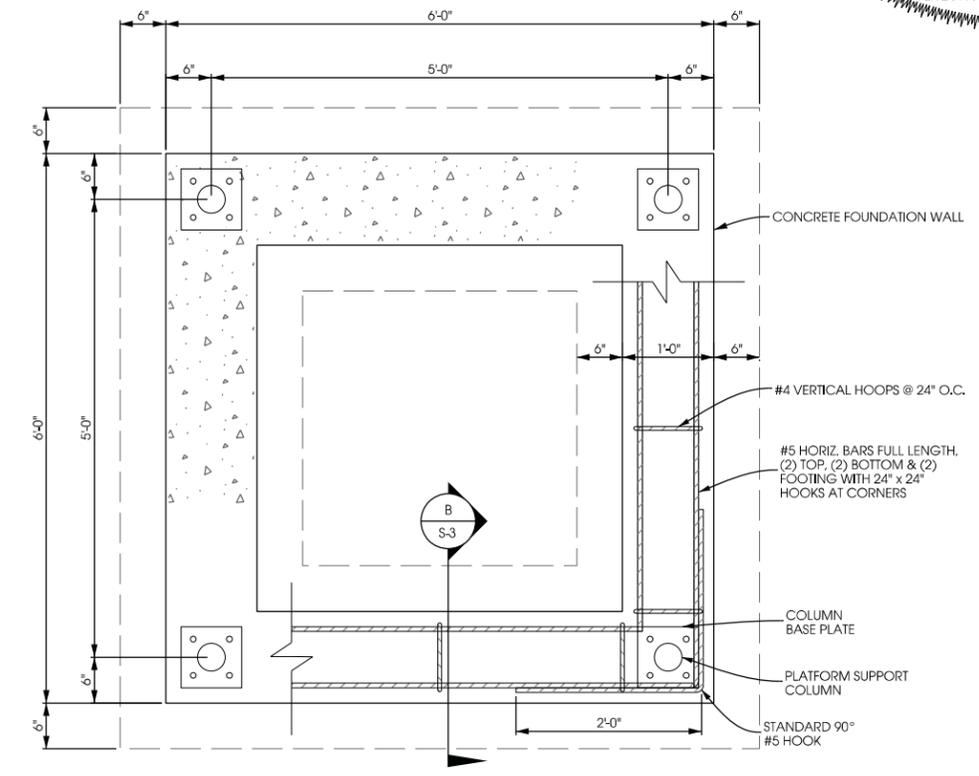
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LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

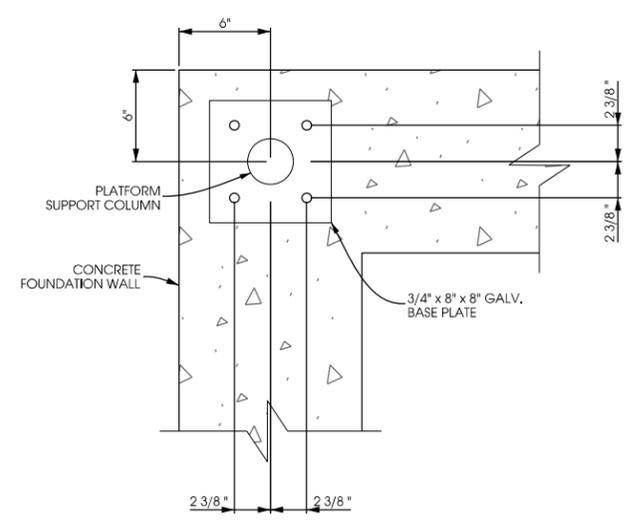
SHEET TITLE
FOUNDATION DETAILS

SHEET NUMBER
S-3

PLATFORM NOTE
(TYP. ALL DETAILS THIS SHEET):
FINAL PLATFORM MAY BE PROVIDED AS A KIT, CONTACT VERIZON'S PROJECT MANAGER PRIOR TO FABRICATION

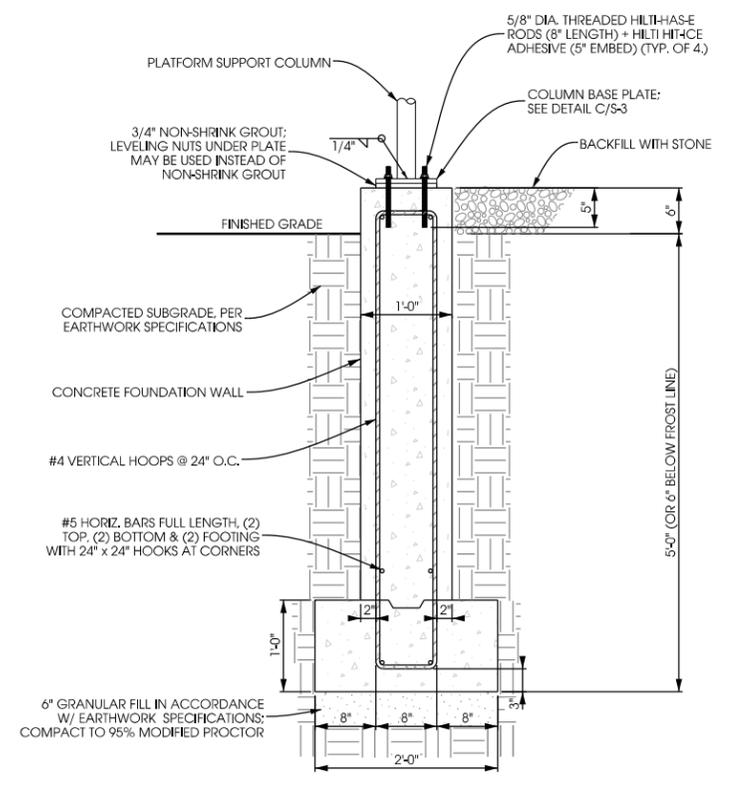


A EQUIPMENT PLATFORM FOUNDATION PLAN
SCALE: 11" x 17" - 1/2" = 1'-0"
22" x 34" - 1" = 1'-0"

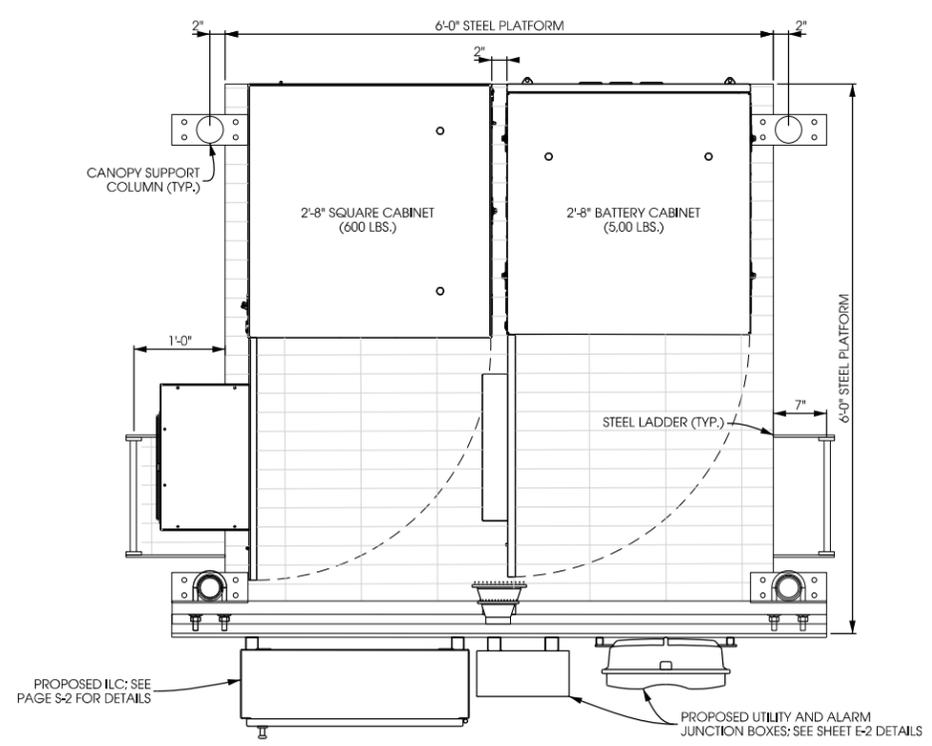


C COLUMN BASE PLATE DETAILS
SCALE: 11" x 17" - 1" = 1'-0"
22" x 34" - 1" = 2'-0"

- CONCRETE AND REINFORCING NOTES:**
- 1.) ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODE REQUIREMENTS AND MOST CURRENT VERSION OF ACI STANDARDS.
 - 2.) CONCRETE FINISH TO BE CLASS A TOLERANCE.
 - 3.) ALL CONCRETE UNLESS SPECIFICALLY NOTED SHALL BE NORMAL WEIGHT (145 PCF) AND SHALL ACHIEVE A 28-DAY COMPRESSIVE STRENGTH (f'c) OF 3,000 PSI. EXPOSED EXTERIOR CONCRETE TO BE AIR ENTRAINED WITH 6% AIR CONTENT. CONTRACTOR TO PERFORM CONCRETE SLUMP TEST (4" MAX SLUMP). NO WATER TO BE ADDED AFTER SLUMP HAS BEEN MEASURED.
 - 4.) ALL CONCRETE REINFORCING SHALL BE ASTM A615 GRADE 60 AND PLACED IN ACCORDANCE WITH ACI STANDARDS W/ 3" MIN COVERAGE IF CAST AGAINST EARTH AND 2" MIN COVERAGE OTHERWISE.
 - 5.) REMOVE ALL ORGANIC MATERIAL, SOFT AREAS, AND POOR SOILS BENEATH BUILDING FOUNDATION TO A DEPTH OF AT LEAST 2'-0" BELOW FOUNDATION.
 - 6.) DESIGN BASED ON GEOTECHNICAL REPORT BY EDGE CONSULTING ENGINEERS, INC. DATED 04/15/2016, CONTRACTOR TO REVIEW & FOLLOW RECOMMENDATIONS CONTAINED IN GEOTECHNICAL REPORT.
 - 7.) SLAB NOT SUITABLE AT SITES WITH ORGANIC SOIL, UNCOMPACTED FILL, EXPANSIVE SOIL, OR SOILS SUSCEPTIBLE TO FROST HEAVE.
 - 8.) CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM ALL FOUNDATIONS.
 - 9.) FOUNDATION DESIGN BASED ON INFORMATION PROVIDED BY SHELTER MFG. (WEIGHT, LIVE LOAD, ETC.). CONTRACTOR TO VERIFY EXACT SHELTER SIZE AND TYPE.



B POOR SOILS FOUNDATION
SCALE: 11" x 17" - 1/2" = 1'-0"
22" x 34" - 1" = 1'-0"



D PLATFORM - EQUIPMENT LAYOUT PLAN
SCALE: NTS

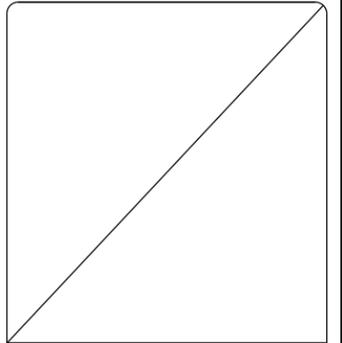
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LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	S-4.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
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2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.

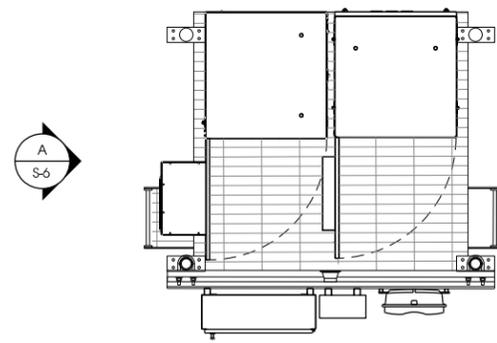


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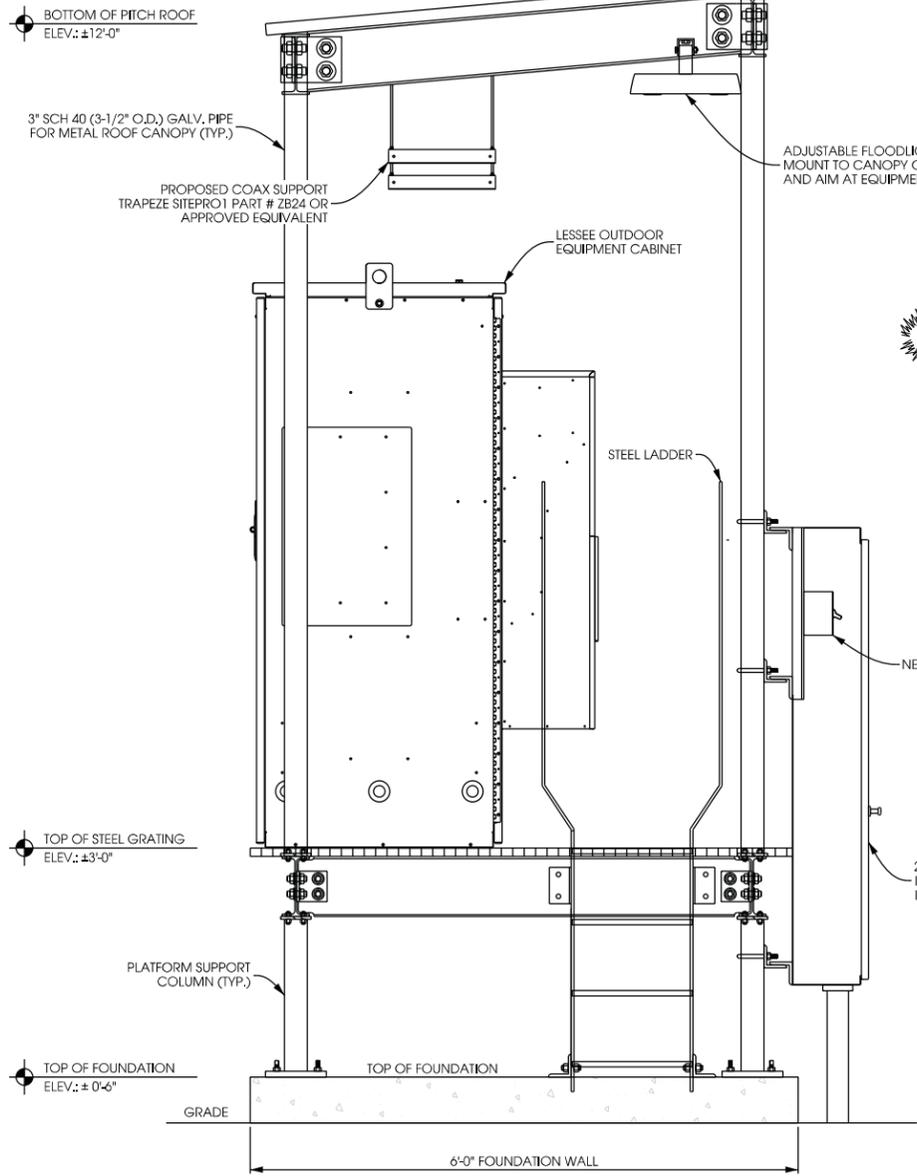
LINCOLNWOOD
 (277176)
 7000 N. CENTRAL PARK AVE.
 LINCOLNWOOD, IL

SHEET TITLE
PLATFORM ELEVATIONS

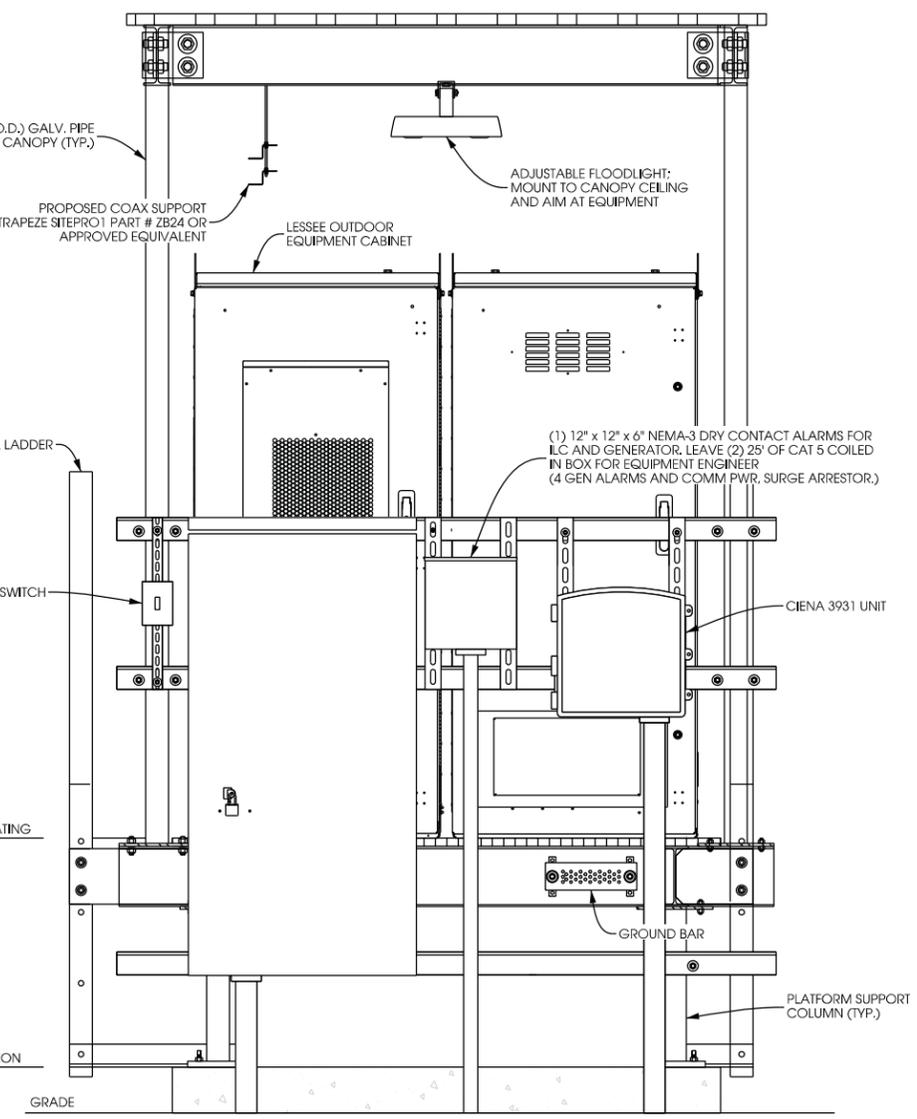
SHEET NUMBER
S-4



TOP OF PITCH ROOF
 ELEV.: ±13'-0"



PLATFORM NOTE
 (TYP. ALL DETAILS THIS SHEET):
 FINAL PLATFORM MAY BE PROVIDED AS A KIT. CONTACT VERIZON'S PROJECT MANAGER PRIOR TO FABRICATION



A EQUIPMENT PLATFORM ELEVATION
 SCALE: 11" x 17" - 1/2" = 1'-0"
 22" x 34" - 1" = 1'-0"

B EQUIPMENT PLATFORM ELEVATION
 SCALE: 11" x 17" - 1/2" = 1'-0"
 22" x 34" - 1" = 1'-0"

I:\2000\12981\CAD\PL\1515\SC21\CDS\S-4.dgn

EQUIPMENT CHANGE REQUEST FORM- ECR

Cell Name	LINCOLNWOOD_ATC_SC_TD_MACRO	RF Engineer	Sabhi Siddiqui	Cell ID	61
Location Number	277176	Market	EL-2	Address	7001 N Lawndale Ave
Date of Request	8/12/2016			City/State/Zip	Lincolnwood, IL, 60712

NOTES:

RF DESIGN AND DETAIL ON THIS PAGE PROVIDED BY LESSEE AND ARE INCLUDED FOR CONVENIENCE. FINAL RF DESIGN TO BE VERIFIED WITH LESSEE. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE IDENTIFIED, CONTACT ENGINEER PRIOR TO INSTALLATION.

		PROPOSED CONFIGURATION				Configuration				Option-A2	
Sector	Pos	Port	Antenna RF Path	Antenna Manufacturer	Antenna Model	Antenna Serial Number	Centerline	Azimuth	Variable Tilt	Mechanical Tilt	Action
Alpha	A1	L1 (+45)	LTE - RxTx0	ANDREW	SBNHH-1D65B		88	0	2	0	Add-Install
		L2 (+45)	LTE - RxTx1								
		L3 (+45)	Unused at this time								
		L4 (+45)	Unused at this time								
	A2	H1 (-45)	Unused at this time								
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								
	A3	L1 (+45)	LTE - Rx2	ANDREW	SBNHH-1D65B		88	0	2	0	Add-Install
		L2 (+45)	LTE - Rx3								
		L3 (+45)	Unused at this time								
		L4 (+45)	Unused at this time								
	A4	H1 (-45)	Unused at this time	ANDREW	SBNHH-1D65B		88	0		0	Add-Install
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								
Beta	B1	L1 (+45)	LTE - RxTx0	ANDREW	SBNHH-1D65B		88	120	2	0	Add-Install
		L2 (+45)	LTE - RxTx1								
		L3 (+45)	Unused at this time								
		L4 (+45)	Unused at this time								
	B2	H1 (-45)	Unused at this time								
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								
	B3	L1 (+45)	LTE - Rx2	ANDREW	SBNHH-1D65B		88	120	2	0	Add-Install
		L2 (+45)	LTE - Rx3								
		L3 (+45)	Unused at this time								
		L4 (+45)	Unused at this time								
	B4	H1 (-45)	Unused at this time	ANDREW	SBNHH-1D65B		88	120		0	Add-Install
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								
Gamma	G1	L1 (+45)	LTE - RxTx0	ANDREW	SBNHH-1D65B		88	240	2	0	Add-Install
		L2 (+45)	LTE - RxTx1								
		L3 (+45)	Unused at this time								
		L4 (+45)	Unused at this time								
	G2	H1 (-45)	Unused at this time								
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								
	G3	L1 (+45)	LTE - Rx2	ANDREW	SBNHH-1D65B		88	240	2	0	Add-Install
		L2 (+45)	LTE - Rx3								
		L3 (+45)	Unused at this time								
		L4 (+45)	Unused at this time								
	G4	H1 (-45)	Unused at this time	ANDREW	SBNHH-1D65B		88	240		0	Add-Install
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								

PROPOSED ANTENNA CONFIGURATION

Edge
Consulting Engineers, Inc.
624 Water Street
Proffle du Soc, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

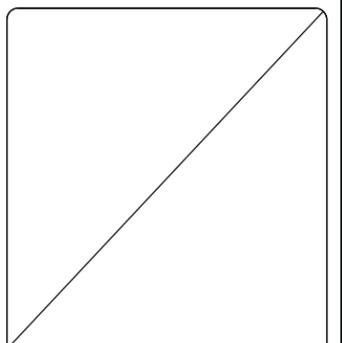
verizon
1515 E. Woodfield Rd
10th Floor
Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	A-2.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.

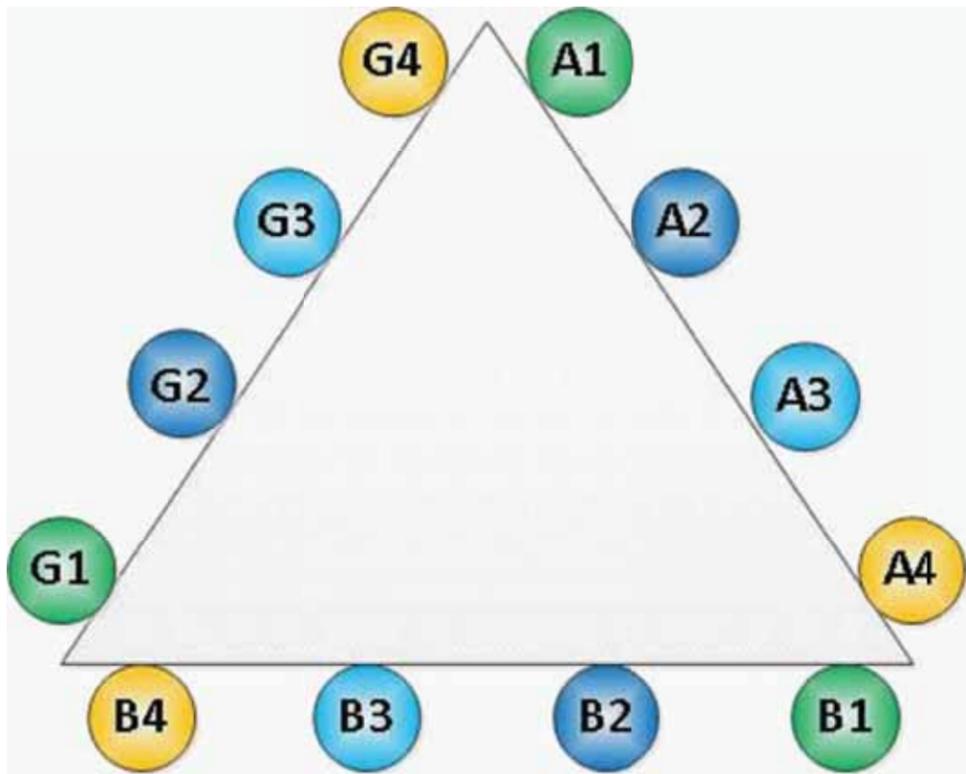


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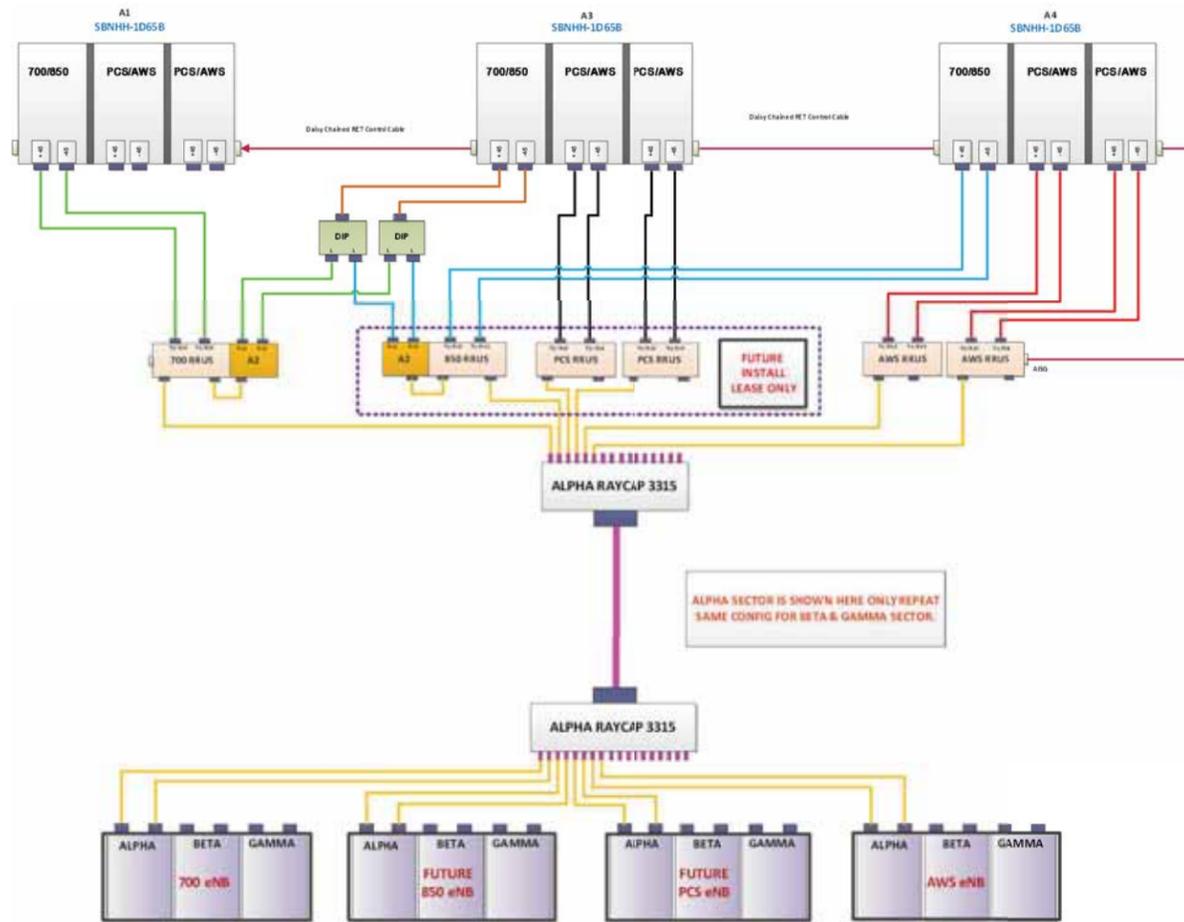
LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

SHEET TITLE
ANTENNA CONFIGURATION

SHEET NUMBER
A-2



ANTENNA PLATFORM SCHEMATIC



NOTES:
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PROPOSED ANTENNA CONFIGURATION

Proposed						
	Location	Manufacturer	Component Model	Count	Action	
Passive Components	Top (Platform)	ERICSSON	RRUS - 700	3	Install	
	Top (Platform)	ERICSSON	A2 - 700	3	Install	
	Top (Platform)	ERICSSON	RRUS - AWS	6	Install	
	Top (Platform)	RAYCAP	RC3DC-3315-PF-48	3	Install	
	Top (Platform)	ERICSSON	RRUS - AWS	1	Remove	
	Top (Platform)	ERICSSON	RRUL - 700	1	Remove	
	Top (Platform)	ANDREW	CBC78-DF-8-DCB	6	Install	
	Top (Platform)	ERICSSON	RRUS - PCS	6	Do Not Install - Lease ONLY	
	Top (Platform)	ERICSSON	RRUS - 850	3	Do Not Install - Lease ONLY	
	Top (Platform)	ERICSSON	A2 - 850	3	Do Not Install - Lease ONLY	
Coax	Bottom (Shelter)	RAYCAP	RC3DC-3315-PF-48	3	Install	
	Bottom (Shelter)					
	Bottom (Shelter)					
	Sector	Coax Manufacturer	Type	Size	Count	Action
Coax	Alpha					
	Beta					
	Gamma					
	AWS	ANDREW	HFT1206-24S49-XXX		3	Install

NOTES:
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COMBINER CABLE DATA INFORMATION

Edge Consulting Engineers, Inc.
624 Water Street
Proffle du Sac, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

verizon
1515 E. Woodfield Rd
10th Floor
Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	A-3.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
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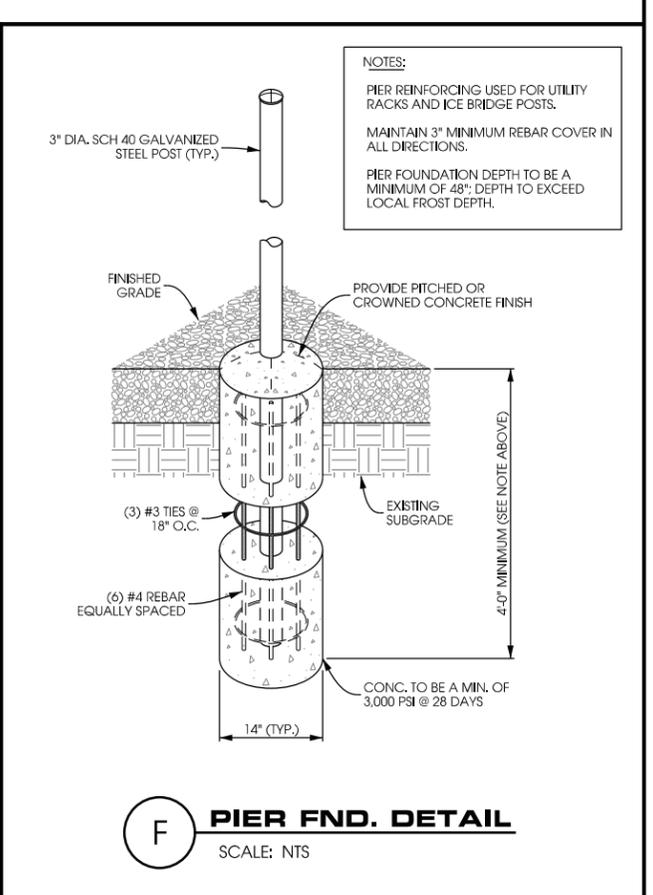
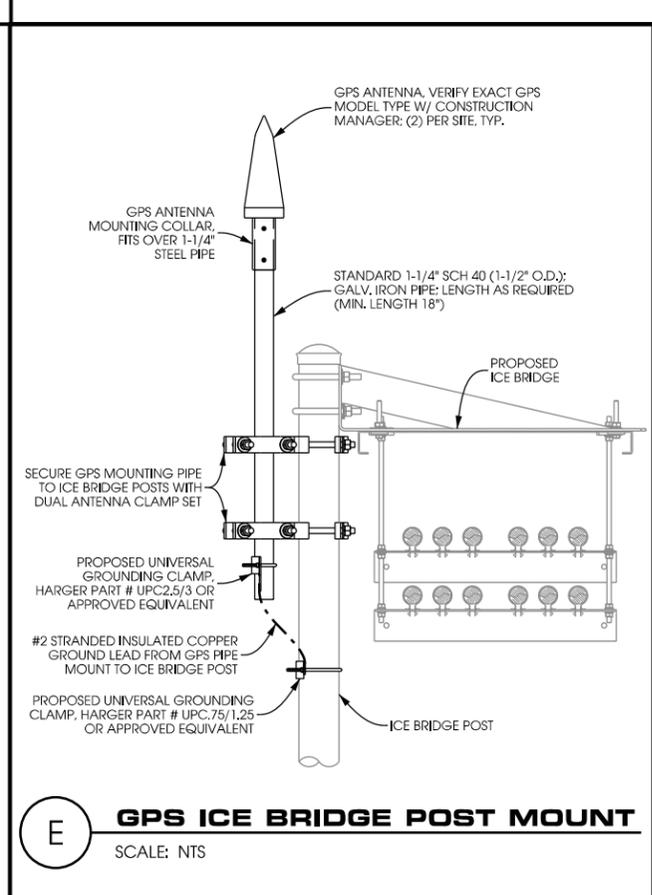
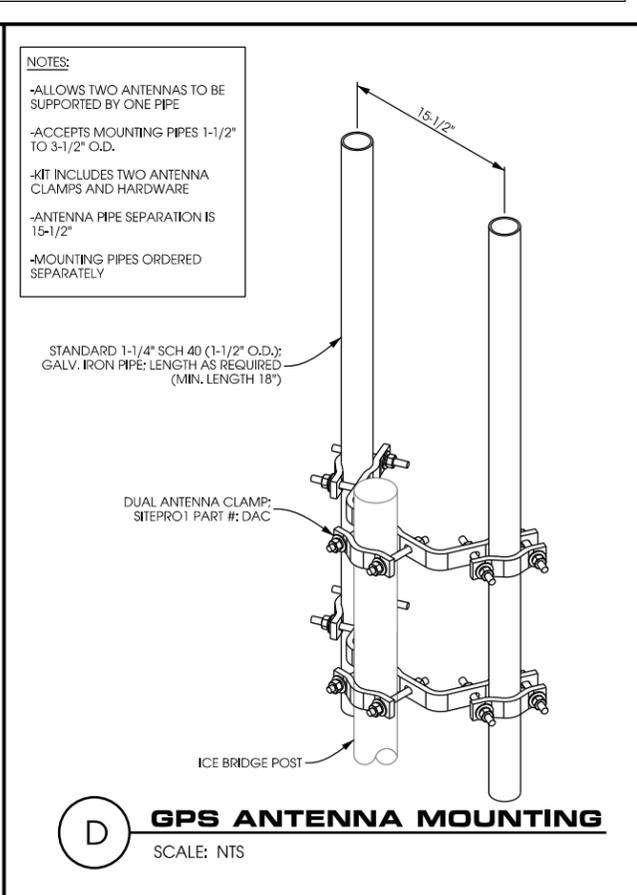
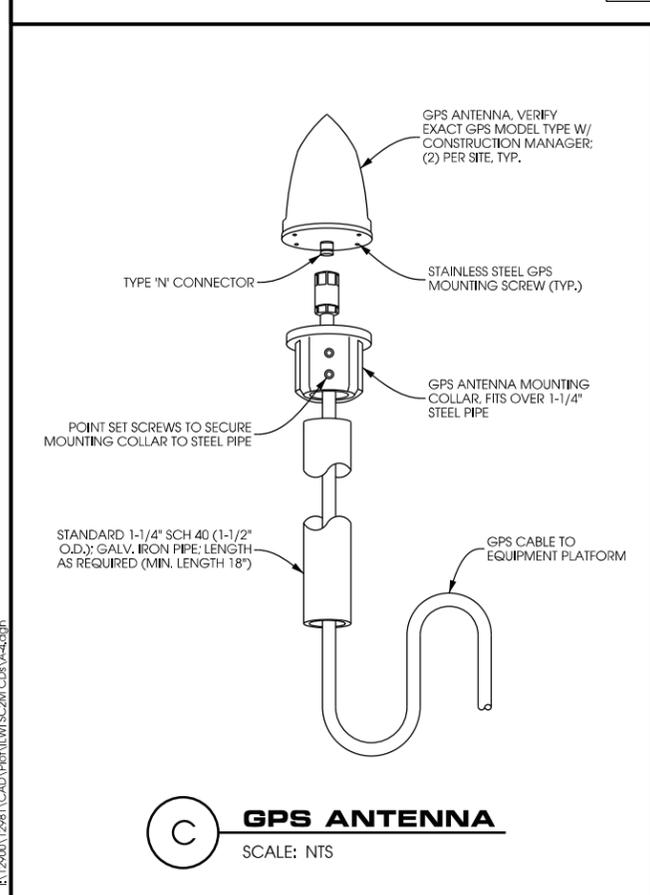
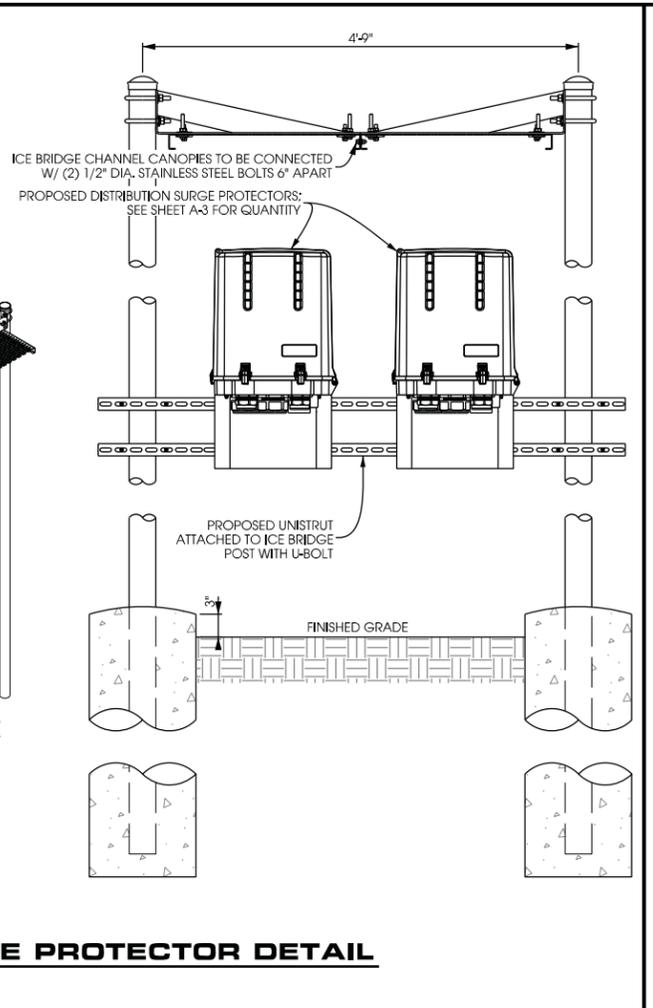
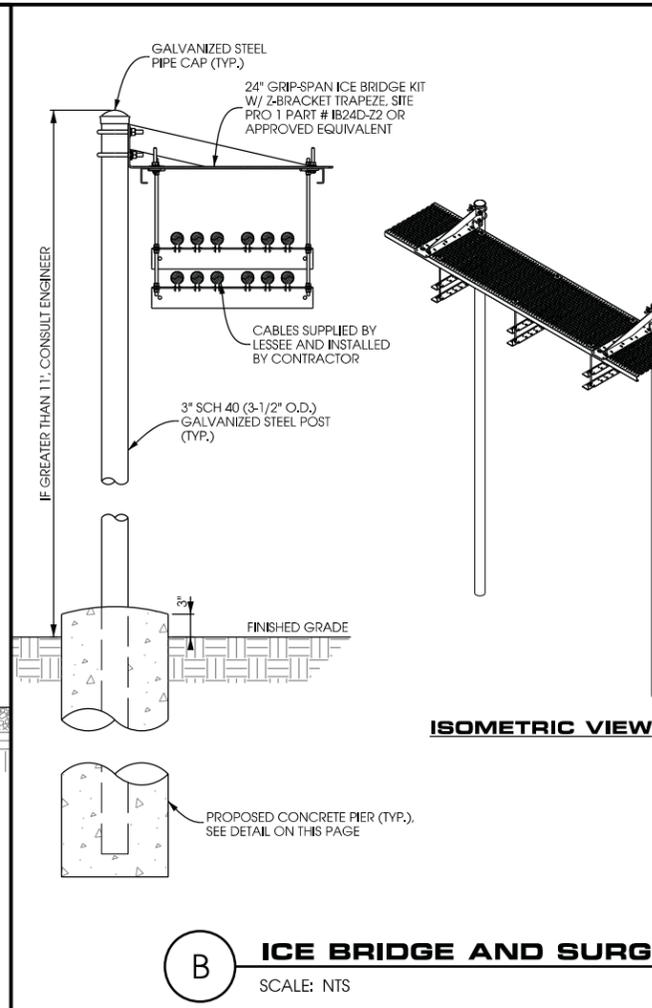
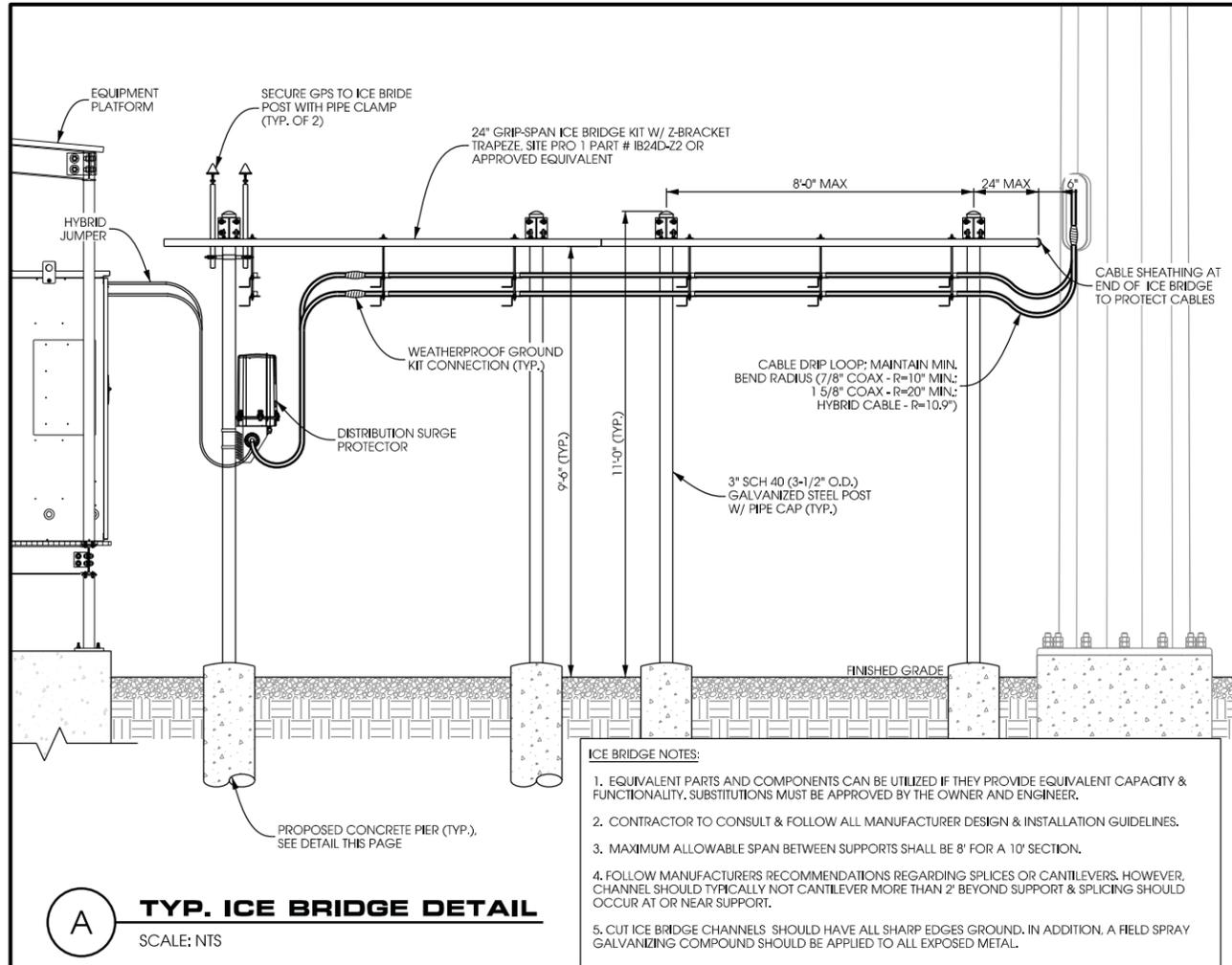
REV.	DATE	STAMPED FINAL DWGS	INT.

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LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

SHEET TITLE
ANTENNA CONFIGURATION

SHEET NUMBER
A-3



LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	A-4.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
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5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.

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LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

SHEET TITLE
ICE BRIDGE DETAILS

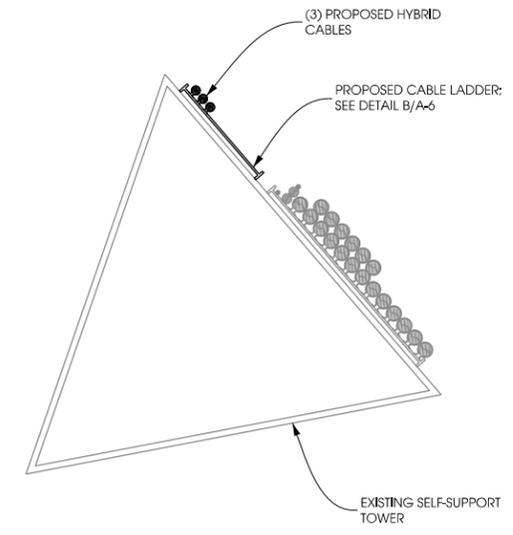
SHEET NUMBER
A-4

R:\2200\12981\CAD\PLM\W\SC2M\CDA\A-4.dgn

NOTES:
ALL COAX SHOWN IS EXISTING UNLESS SPECIFIED OTHERWISE.

- LEGEND:
- EXISTING 1 5/8" COAX TO REMAIN
 - EXISTING 7/8" COAX TO REMAIN
 - PROPOSED AWS/LTE HYBRID CABLE

NOTE:
CONTRACTOR TO REVIEW STRUCTURAL ANALYSIS FOR COMPATIBILITY WITH CONSTRUCTION DRAWINGS

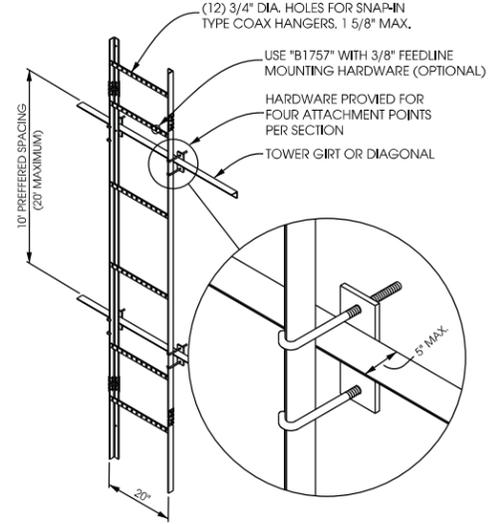


A SELF-SUPPORT TOWER COAX ROUTING
SCALE: NTS



SOUTH TOWER FACE

- ANDREW UNIVERSAL CABLE LADDER KITS
- 10' COAX LADDER SECTION KIT
 - 20" WIDE - PART #CL-0610-U
 - 30" WIDE - PART #CL-0910-U
 - 38" WIDE - PART #CL1210-U
 - 20' COAX LADDER SECTION KIT
 - 20" WIDE - PART #CL-0620-U
 - 30" WIDE - PART #CL-0920-U
 - 38" WIDE - PART #CL1220-U (TYP. SHOWN)
- ALL INCLUDE UNIVERSAL HARDWARE KITS FOR ROUND AND ANGLE TOWER MEMBERS



B CABLE LADDER DETAIL
SCALE: NTS ANDREW #CL-0620-U



WEST TOWER FACE



EXISTING ANTENNAS

Edge
Consulting Engineers, Inc.
624 Water Street
Proffle du Soc, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

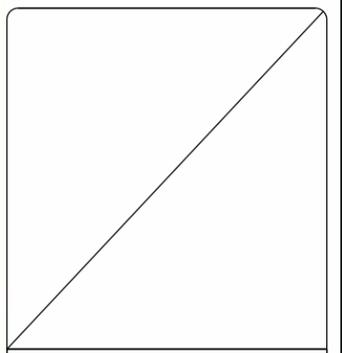
verizon
1515 E. Woodfield Rd
10th Floor
Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	A-6.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.



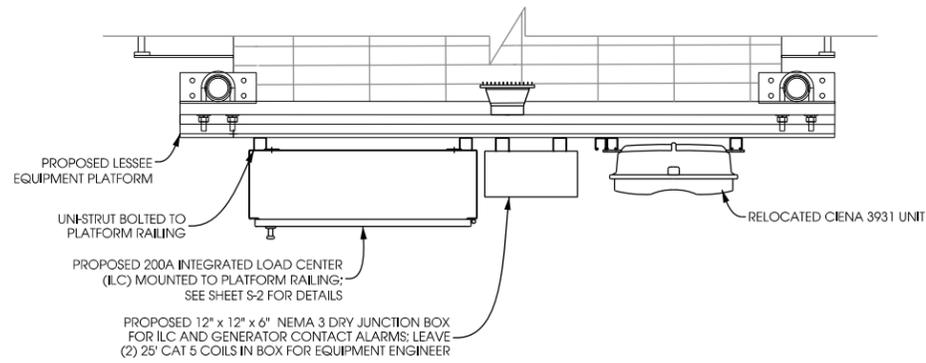
I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

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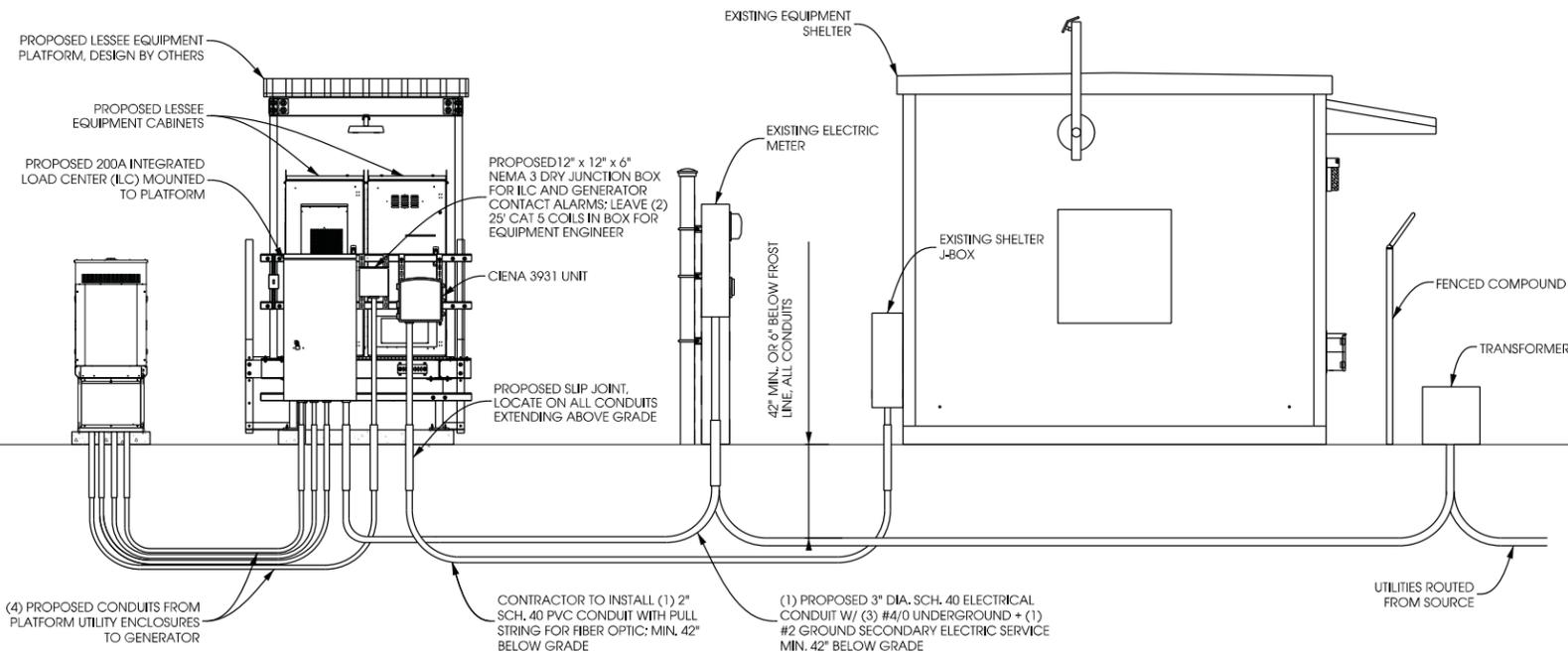
SHEET TITLE
**COAX
DETAILS**

SHEET NUMBER
A-6

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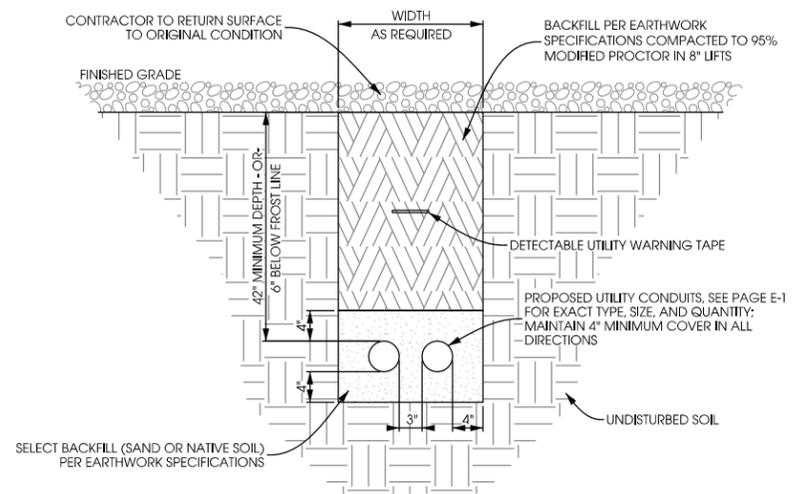


PLATFORM PLAN VIEW

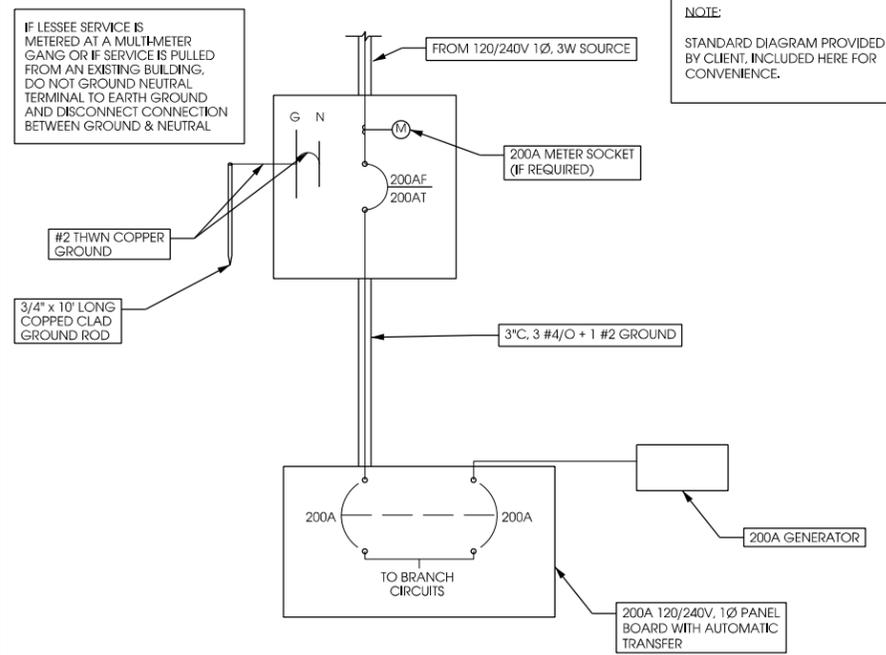


A ELECTRICAL RISER DIAGRAM
SCALE: NTS

NOTES:
UTILITY CONDUITS TO BE BURIED A MINIMUM DEPTH OF 42" BELOW GROUND LEVEL OR 6" BELOW THE FROST LINE.
CONDUIT TYPE, SIZE, AND QUANTITY SHOWN ON PAGE E-1.



B UTILITY TRENCH DETAIL
SCALE: NTS



C ELECTRIC LINE DIAGRAM & NOTES
SCALE: NTS

Edge
Consulting Engineers, Inc.
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Pleasanton, CA 94566
925.464.1449 voice
925.464.1549 fax
www.edgeconsult.com

verizon
1515 E. Woodfield Rd
10th Floor
Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	E-2.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.

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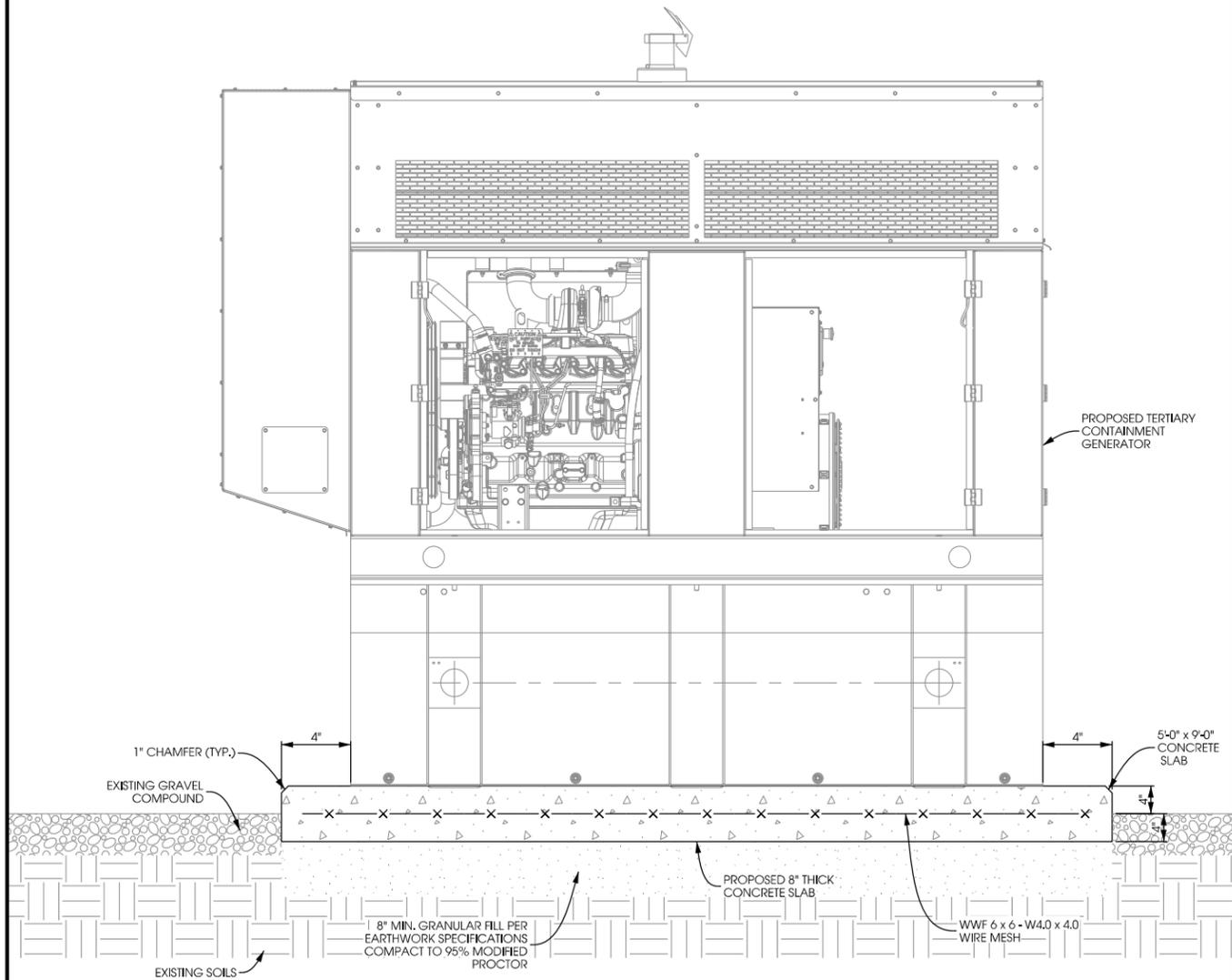
SHEET TITLE
**ELECTRICAL
DETAILS**

SHEET NUMBER
E-2

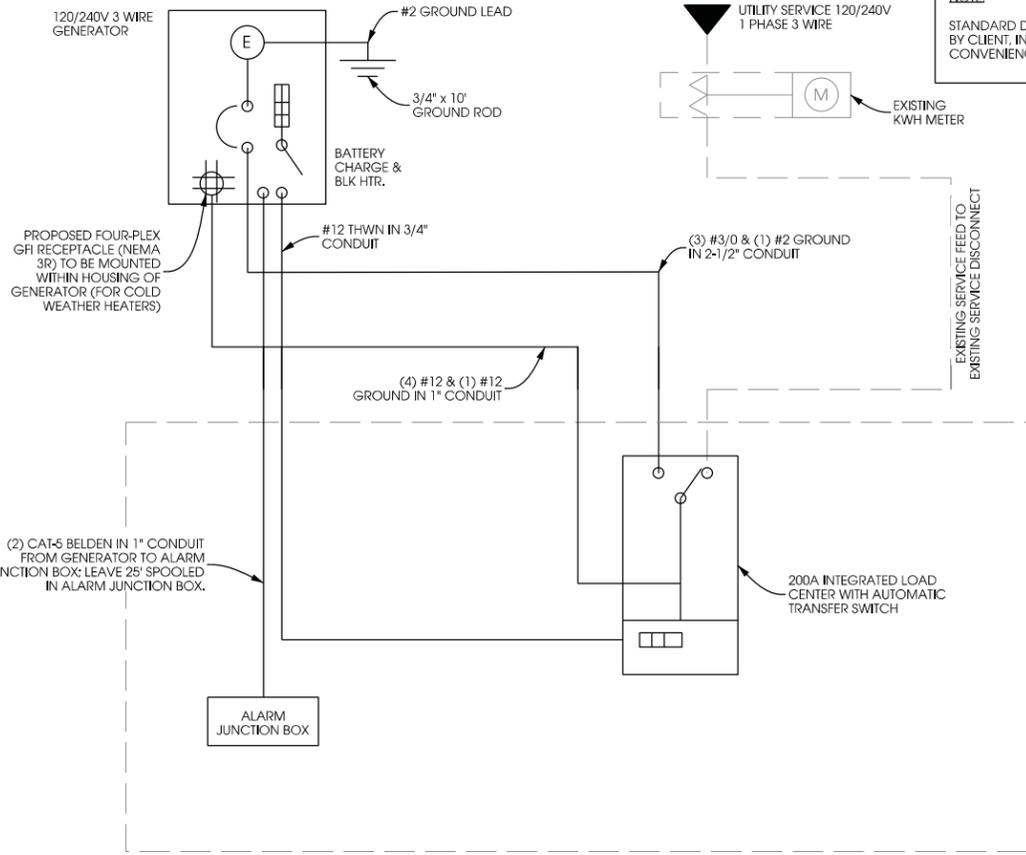
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GENERATOR CLEARANCE NOTE:

- THE GENERATOR SHALL BE LOCATED A MIN. 10' AWAY FROM A COMBUSTIBLE WALL.
- THE GENERATOR SHALL BE LOCATED A MIN. OF 5' FROM A NON-COMBUSTIBLE WALL.
- THE GENERATOR SHALL BE LOCATED A MIN. OF 20' FROM AN OUTDOOR ELECTRICAL TRANSFORMER OR NORMAL POWER DISTRIBUTION EQUIPMENT.



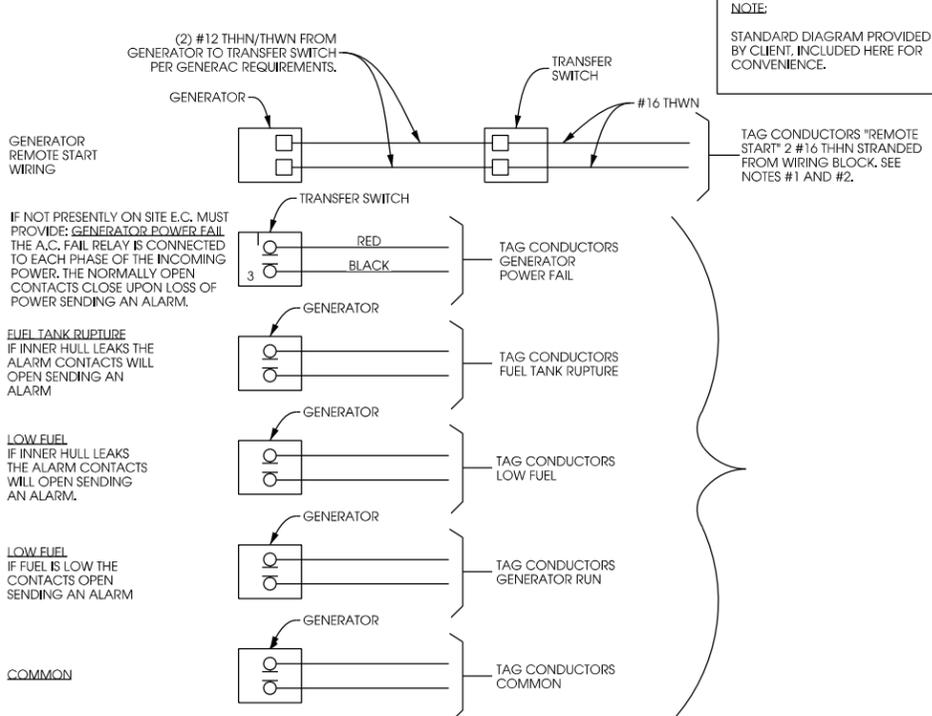
A GENERATOR FOUNDATION DETAIL
SCALE: NTS



B GENERATOR SINGLE LINE DIAGRAM
SCALE: NTS

NOTES:

1. ELECTRICAL CONTRACTOR TO PULL (1) #16 AWG SOLID RED AND (1) #16 AWG SOLID BLACK FROM THE TRANSFER SWITCH TO ALARM WIRING BLOCK FOR REMOTE START.
2. ELECTRICAL CONTRACTOR TO PULL ALL ALARM LEADS TO EXISTING ALARM WIRING BLOCK. LEAVE A MINIMUM OF 24" PIGTAILS AT ALARM WIRING BLOCK AND TAG CONDUCTORS AS INDICATED. TERMINATIONS ON ALARM POINT WIRING BLOCK BY OTHERS. CONDUCTORS CAN BE RUN EXPOSED. THEY SHALL BE BUNDLED NEATLY USING TIES AND SUPPORTED AT 24" INTERVALS FOR NEAT INSTALLATION.



C GENERATOR ALARM WIRING
SCALE: NTS

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608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

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1515 E. Woodfield Rd
10th Floor
Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	E-4.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
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2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.

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SHEET TITLE
GENERATOR FOUNDATION

SHEET NUMBER
E-4

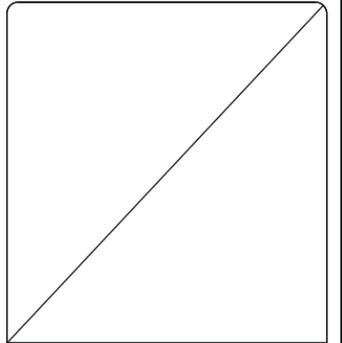
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LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	E-5.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
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2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
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2	05/25/2016	PERMIT CDs	NAT
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4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.

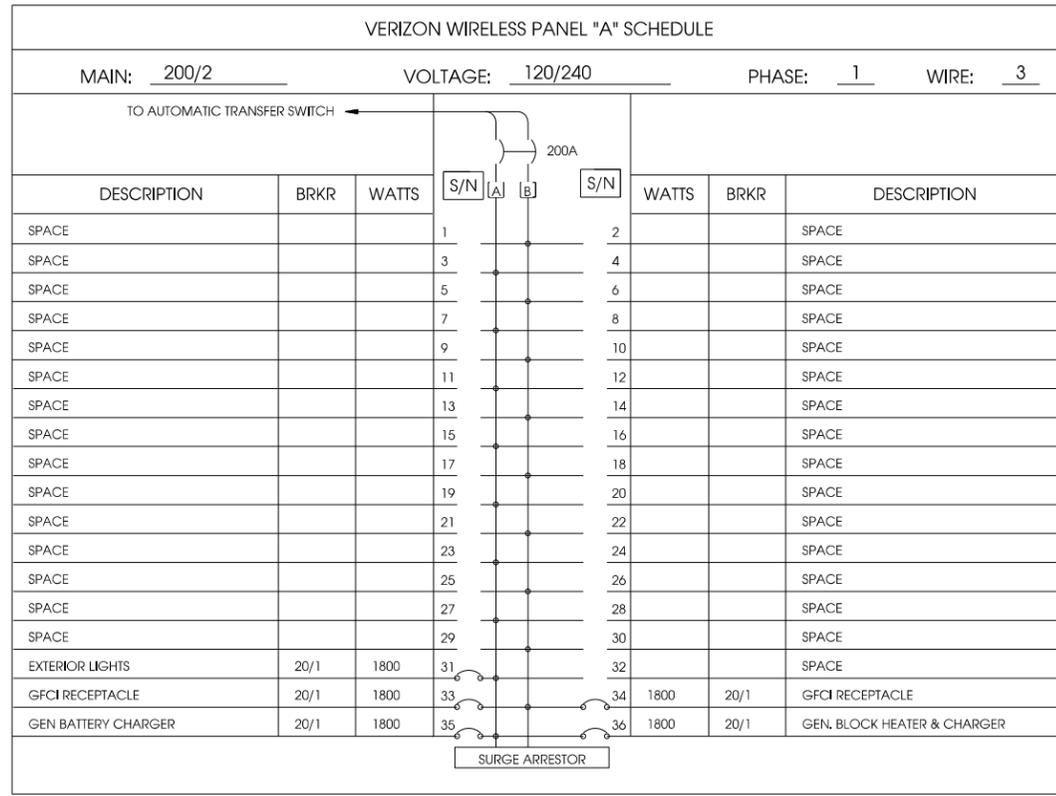


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SHEET TITLE
PANEL SCHEDULE & LIGHTING PLAN

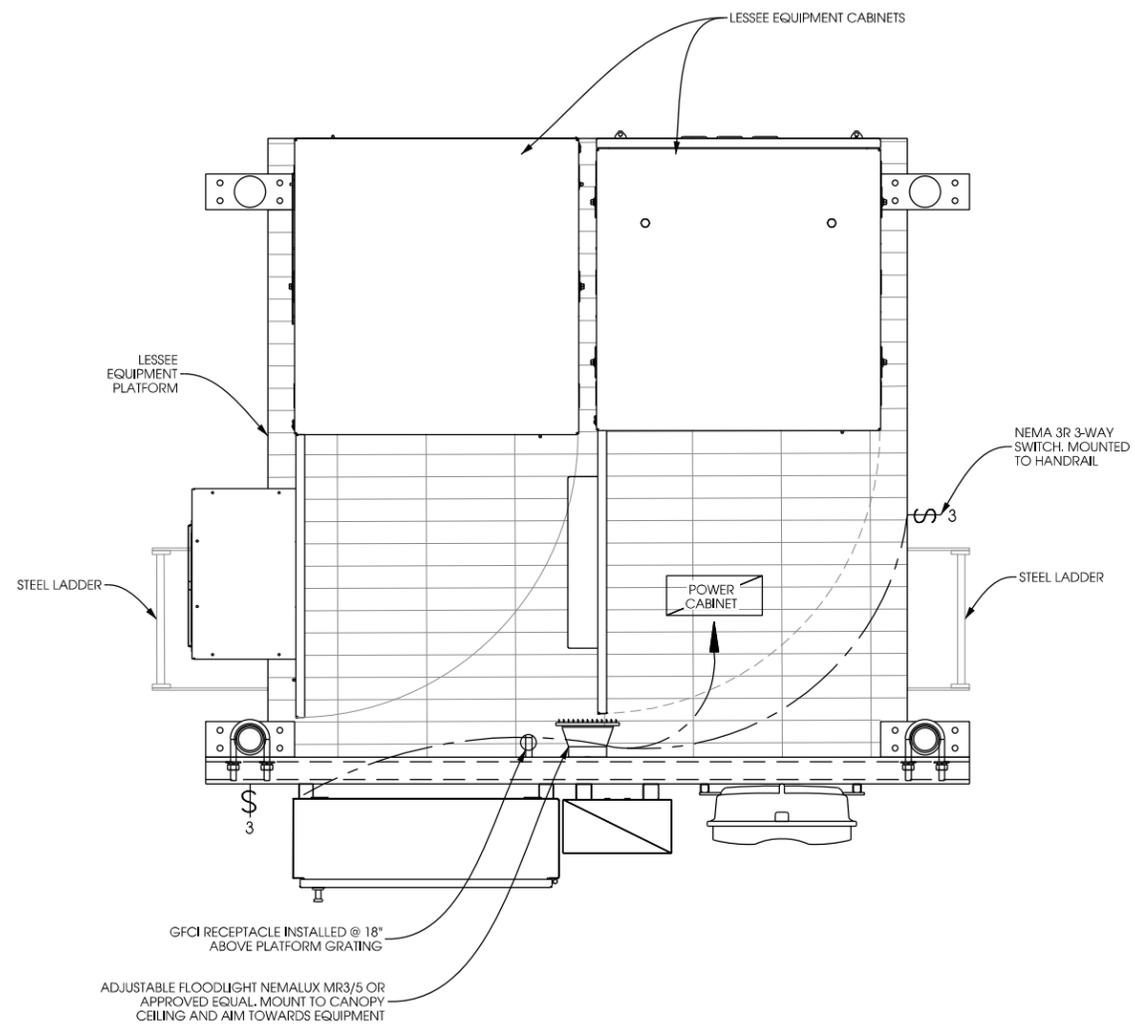
SHEET NUMBER
E-5



SURFACE MOUNTED NEMA 3R WITH DOOR
 22K AIC BREAKERS
 (CONTRACTOR SHALL VERIFY AIC RATINGS WITH LOCAL POWER CO.)

NOTES:
 VERIZON WIRELESS EQUIPMENT ENGINEERING TO SUPPLY BREAKER FOR RADIO AND POWER CABINETS

A **PANEL BOARD SCHEDULE**
 SCALE: NTS



B **PLATFORM LIGHTING LAYOUT**
 SCALE: NTS

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LEGEND

- INSPECTION WELL
-
- EXOTHERMIC CONNECTION (CADWELD OR EQUIVALENT)
- MECHANICAL CONNECTION (BURNDY OR EQUIVALENT)
- #2 SOLID BARE TINNED COPPER GROUND LEAD
-

KEYED GROUNDING NOTES:

- EQUIPMENT PLATFORM GROUND RING, #2 SOLID BARE-TINNED COPPER GROUND LEAD MIN. 4'-6" BURY (TYP.) OR 6" BELOW FROST WHICH EVER IS GREATER. GROUND RODS SPACED @ 8' O.C.
- MAINTAIN 2-FOOT CLEARANCE FROM ALL STRUCTURES
- 4" x 20" x 1/4" COPPER GROUND BAR FOR CABLE GROUND KITS, NON-ISOLATED WITH (2) #2 SOLID BARE TINNED COPPER LEADS TO GROUND RING
- GROUND CABLES TO GROUND BAR AT ANTENNA ELEVATION. GROUND ANTENNA GROUND BAR TO TOWER STEEL
- 5/8" DIAMETER x 10'-0" LONG COPPER CLAD GROUND ROD WITH EXOTHERMIC CONNECTION, 8' SPACING, TYP.
- GROUND ILC, ALARM JUNCTION BOX AND FIBER JUNCTION BOX
- GROUND GENERATOR TO GROUND RING WITH #2 SOLID BARE TINNED COPPER LEADS
- GROUND PLATFORM SUPPORT COLUMNS TO GROUND RING WITH #2 SOLID BARE TINNED COPPER LEADS
- GROUND PLATFORM LADDER TO GROUND RING WITH #2 SOLID BARE TINNED COPPER LEADS
- EQUIPMENT GROUND BAR
- MASTER GROUND BAR
- INSPECTION WELL (TYP.); SEE PAGE G-3 FOR DETAIL
- GROUND FOR PLATFORM FOUNDATION REBAR
- #2 GREEN STRANDED INSULATED COPPER GROUND LEAD FROM CABINET HOUSING TO EQUIPMENT GROUND BAR
- GROUND ICE BRIDGE POSTS WITH #2 SOLID BARE TINNED COPPER LEADS
- GROUND GPS TO ICE BRIDGE POST; SEE PAGE A-4 FOR DETAIL
- DISTRIBUTION SURGE PROTECTOR; GROUND WITH #2 STRANDED INSULATED GROUND LEAD



GROUNDING NOTE:

THIS GROUNDING PLAN WAS PREPARED PRIOR TO THE COMPLETION OF THE GEOTECHNICAL REPORT AND RECEIPT OF THE TOWER FOUNDATION DESIGN. THE LAYOUT OF RADIALS AND GROUND RODS ARE APPROXIMATE IN NATURE AND MAY NEED TO BE ADJUSTED IN THE FIELD. GROUND RODS SHOULD NOT EXTEND THROUGH THE TOWER FOUNDATION OR OTHER STRUCTURAL ELEMENTS WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER. IN ADDITION, SOME ADJUSTMENT TO THE GROUND METHOD MAY BE REQUIRED IN INSTANCES WHERE SHALLOW BEDROCK OR OTHER UNIQUE CIRCUMSTANCES ARE ENCOUNTERED. CONTRACTOR SHALL CONSULT GEOTECHNICAL REPORT FOR FURTHER DESIGN AND CONSTRUCTION RECOMMENDATIONS.

NOTE:

- TOP OF EACH GROUND ROD SHALL EXTEND NO MORE THAN 6" ABOVE BOTTOM OF TRENCH

NOTE:

ANY CONDUCTIVE UTILITY JUNCTION BOX OR ENCLOSURE SHALL BE BONDED TO THE EARTH GROUND SYSTEM W/ A #2 SOLID BARE TINNED COPPER GROUND LEAD

GROUNDING ELECTRODE SYSTEM NOTES:

1. CONNECTIONS: ALL CONNECTIONS SHALL BE EXOTHERMICALLY CONNECTED UNLESS NOTED OTHERWISE. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S GUIDELINES & RECOMMENDATIONS.
2. ALL ELECTRICAL AND MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION.
3. FENCE/GATE: GROUND FENCE POSTS WITHIN 6-FEET OF ENCLOSURE AND 25-FEET OF TOWER. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
4. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
 - A. ONE (1) COPY TO THE OWNER REPRESENTATIVE
 - B. ONE (1) COPY TO THE ENGINEER
 - C. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE

NOTE:

- THE GROUNDING SHALL BE TESTED PRIOR TO FINAL BACKFILLING. DOCUMENTATION OF 5 OHM OR LESS RESISTANCE TO BE PROVIDED TO PROJECT MANAGER.
- ALL NONINSULATED GROUND LEADS EXTENDING ABOVE GROUND LEVEL SHALL BE ENCASED IN 3/4" PVC & SEALED WITH SILICONE. PVC SHALL BE MIN. 16" INTO EARTH & EXTEND MIN. 6" ABOVE GROUND.
- INSTALL 18" X 18" COPPER PLATES IN LIEU OF GROUND RODS WHEN INSTALLING OVER TOWER FOUNDATION OR WHERE DRIVING GROUND RODS IS NOT FEASIBLE.

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LOCATION ID:	277176
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PLOT DATE:	8/17/2016
FILE NAME:	G-1.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
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3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
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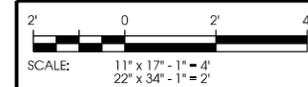
REV.	DATE	STAMPED FINAL DWGS	INT.

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LINCOLNWOOD, IL

SHEET TITLE
GROUNDING PLAN

SHEET NUMBER
G-1



LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	G-2.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

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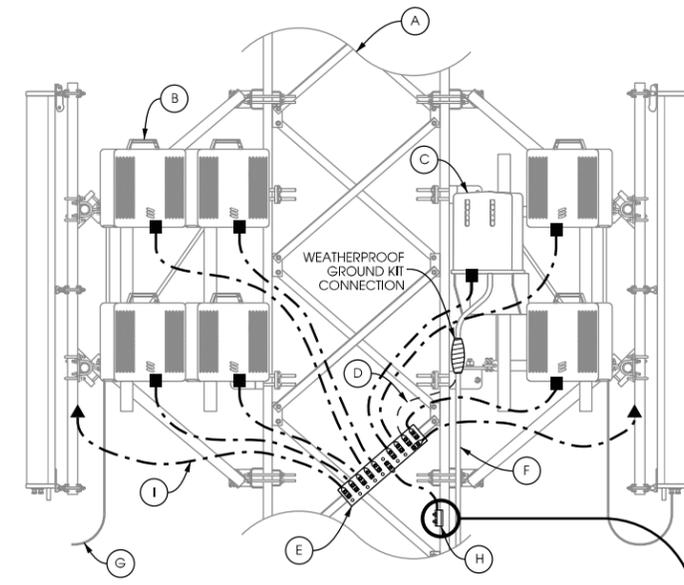
LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

SHEET TITLE
**GROUNDING
DETAILS**

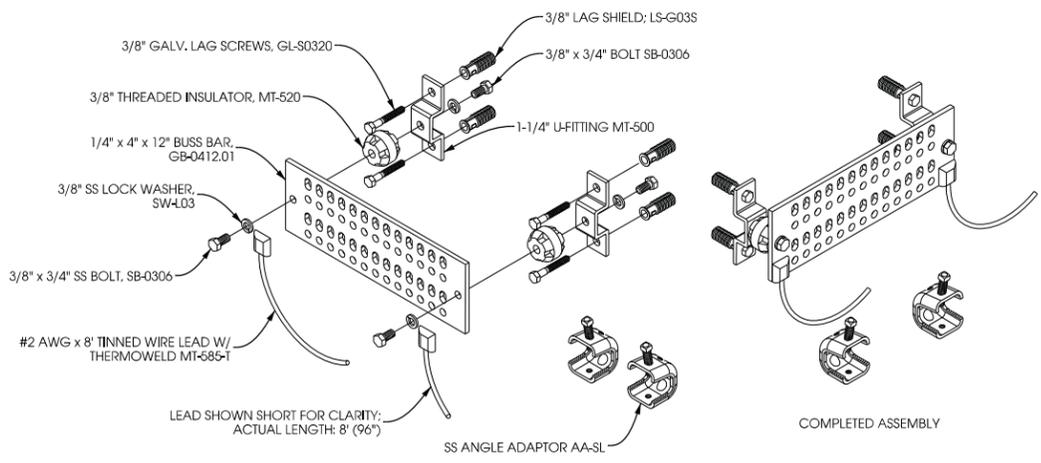
SHEET NUMBER
G-2

KEYED GROUNDING NOTES:

- (A) SELF-SUPPORT TOWER
- (B) REMOTE RADIO UNIT; GROUND WITH #2 STRANDED INSULATED GROUND LEAD
- (C) DISTRIBUTION SURGE PROTECTOR; GROUND WITH #2 STRANDED INSULATED GROUND LEAD
- (D) # 6 INSULATED TINNED COPPER CABLE GROUND KITS TO GROUND BAR; COMMSCOPE PART # UG12158-1584-T OR APPROVED EQUIVELANT
- (E) UPPER ANTENNA GROUND BAR; MOUNT GROUND BAR DIRECTLY TO TOWER STEEL
- (F) CABLE, MAINTAIN MINIMUM BEND RADIUS
- (G) JUMPER, MAINTAIN MINIMUM BEND RADIUS
- (H) CLAMP #2 STRANDED INSULATED COPPER GROUND LEAD TO TOWER STEEL W/ HARGERS HEAVY DUTY TINNED FLANGE BONDING PLANT(P/N# 223T), OR APPROVED EQUIVALENT
- (I) CADWELD #2 STRANDED INSULATED COPPER GROUND LEAD TO ANTENNA MAST PIPE



(B) ANTENNA LEVEL GROUNDING DETAILS
SCALE: NTS



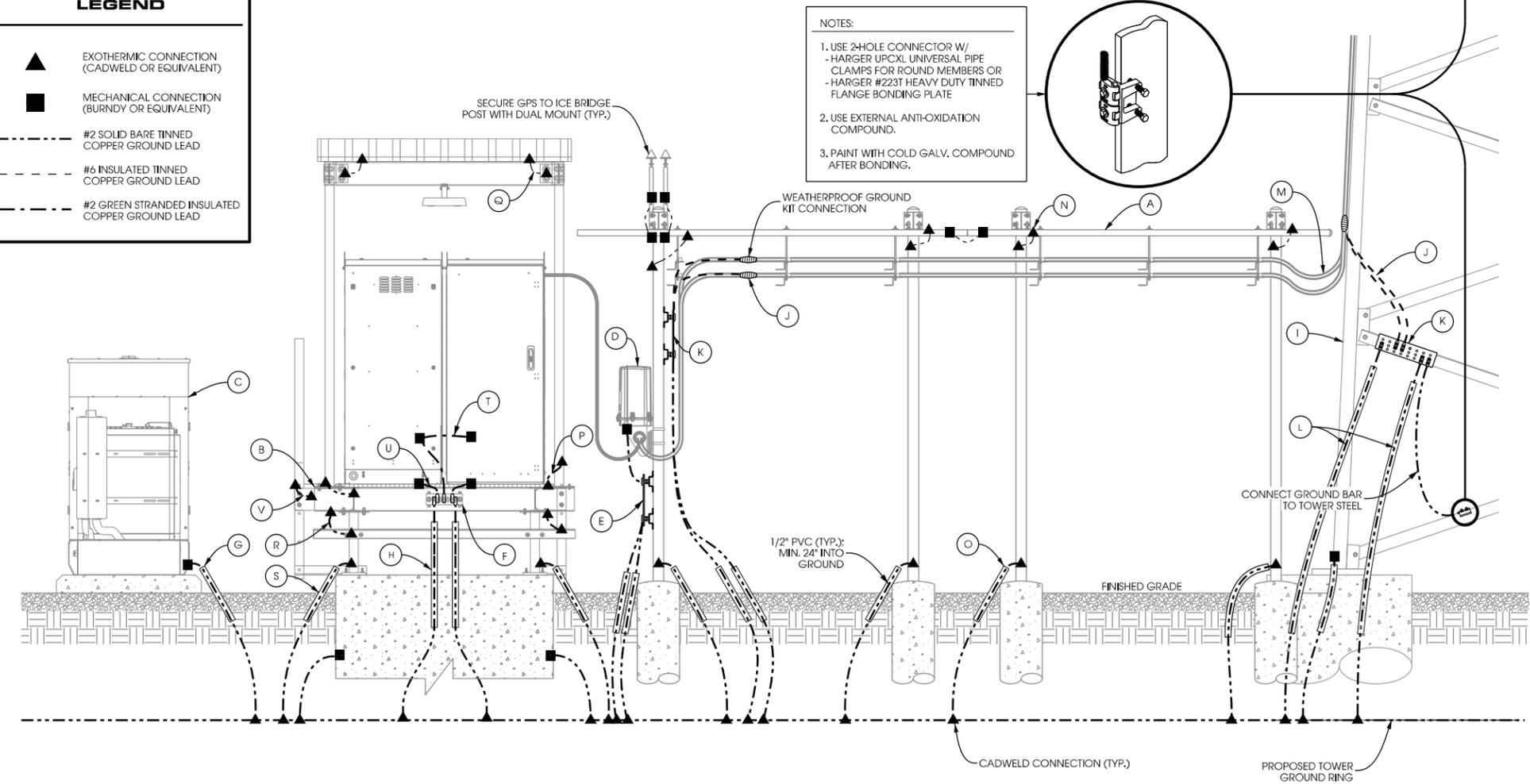
(A) GROUND AND BUSS BAR DETAIL
SCALE: NTS

KEYED GROUNDING NOTES:

- (A) ICE BRIDGE
- (B) EQUIPMENT PLATFORM
- (C) BACKUP GENERATOR
- (D) DISTRIBUTION SURGE PROTECTOR; GROUND WITH #2 STRANDED INSULATED GROUND LEAD
- (E) MASTER GROUND BAR BY ELECTRICAL CONTRACTOR; EXTEND (2) #2 SOLID BARE TINNED COPPER GROUND LEADS DOWN INTO SEALED 1/2" PVC CONDUITS
- (F) EQUIPMENT GROUND BAR BY ELECTRICAL CONTRACTOR; EXTEND (2) #2 SOLID BARE TINNED COPPER GROUND LEADS DOWN INTO SEALED 1/2" PVC CONDUITS
- (G) (2) #2 SOLID BARE TINNED COPPER GROUND LEADS BETWEEN GENERATOR AND EQUIPMENT PLATFORM GROUND RING THROUGH SEALED 1/2" CONDUIT
- (H) 1/2" DIA. PVC CONDUIT; EXTEND PVC CONDUIT 24" BELOW GRADE, (TYP.)
- (I) SELF-SUPPORT TOWER
- (J) # 6 INSULATED TINNED COPPER CABLE GROUND KITS TO GROUND BAR; COMMSCOPE PART # UG12158-1584-T OR APPROVED EQUIVALENT
- (K) 4" x 20" x 1/4" TINNED, INSULATED, NON-INSULATED COPPER GROUND BAR FOR GROUND KITS
- (L) PROVIDE (2) #2 SOLID BARE TINNED COPPER GROUND LEADS FROM LOWER TOWER GROUND BAR TO TOWER GROUND RING. & (1) LEAD TO TOWER STEEL; ALL LEADS TO BE ENCASED IN 1/2" SEALED CONDUIT
- (M) CABLES WITH DRIFLOOP INSTALLED BY ANTENNA CONTRACTOR, MAINTAIN MINIMUM BEND RADIUS
- (N) #2 SOLID BARE TINNED COPPER GROUND JUMPER BETWEEN ICE BRIDGE AND STEEL SUPPORT POST BY ANTENNA CONTRACTOR; ORIENT WITH HIGH SIDE TOWARDS TOWER
- (O) #2 SOLID BARE TINNED COPPER GROUND LEADS TO ICE BRIDGE POSTS IN 1/2" PVC CONDUIT
- (P) #2 SOLID BARE TINNED COPPER GROUND LEAD BETWEEN CANOPY SUPPORT POSTS AND PLATFORM SUPPORT BEAM
- (Q) #2 SOLID BARE TINNED COPPER GROUND LEAD BETWEEN EQUIPMENT PLATFORM CANOPY AND STEEL SUPPORT POST
- (R) #2 SOLID BARE TINNED COPPER GROUND LEAD BETWEEN PLATFORM SUPPORT BEAM AND PLATFORM SUPPORT COLUMNS
- (S) #2 SOLID BARE TINNED COPPER GROUND LEAD BETWEEN PLATFORM SUPPORT COLUMN AND EQUIPMENT PLATFORM GROUND RING THROUGH SEALED 1/2" CONDUIT
- (T) INTERNAL EQUIPMENT CABINET GROUNDING (BY OTHERS)
- (U) #2 GREEN STRANDED INSULATED COPPER GROUND LEAD FROM CABINET HOUSING TO EQUIPMENT GROUND BAR
- (V) #2 SOLID BARE TINNED COPPER GROUND LEAD BETWEEN PLATFORM LADDER AND PLATFORM SUPPORT BEAM

LEGEND

- ▲ EXOTHERMIC CONNECTION (CADWELD OR EQUIVALENT)
- MECHANICAL CONNECTION (BURNDY OR EQUIVALENT)
- - - #2 SOLID BARE TINNED COPPER GROUND LEAD
- - - #6 INSULATED TINNED COPPER GROUND LEAD
- - - #2 GREEN STRANDED INSULATED COPPER GROUND LEAD



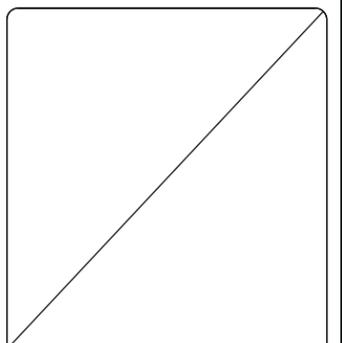
(C) GROUND LEVEL GROUNDING DETAILS
SCALE: NTS

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	G-3.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.



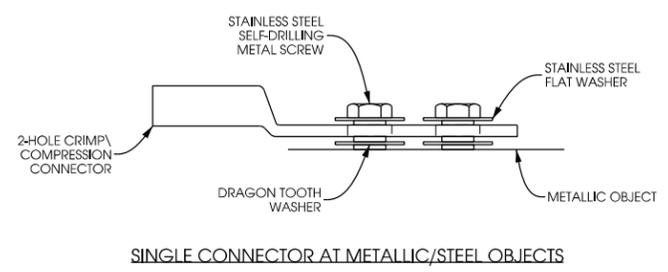
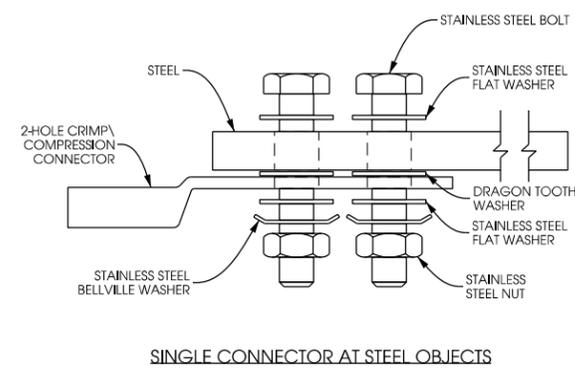
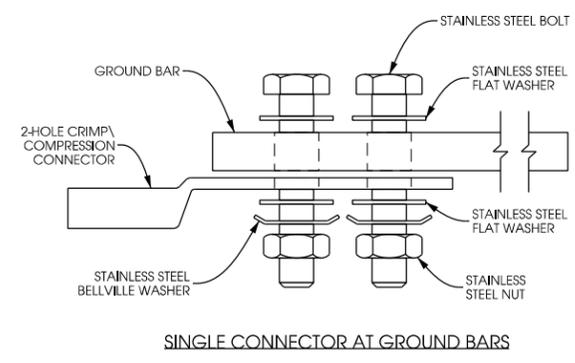
I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

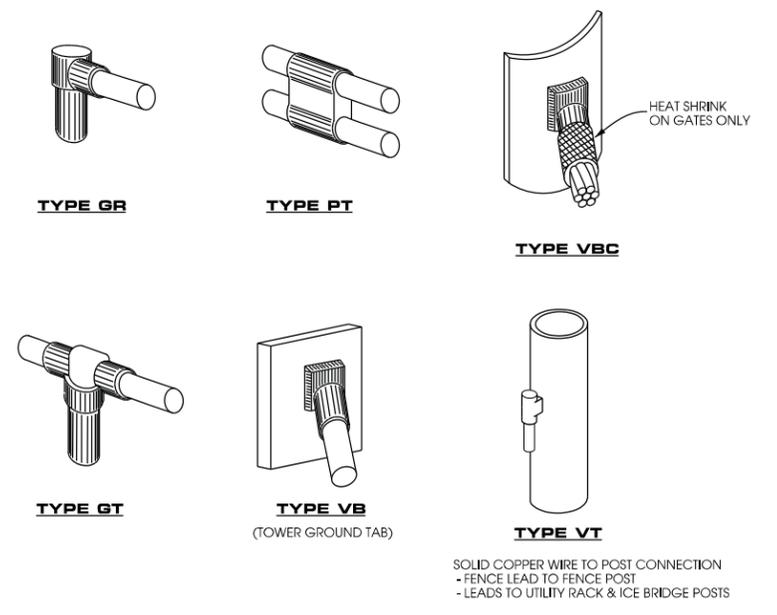
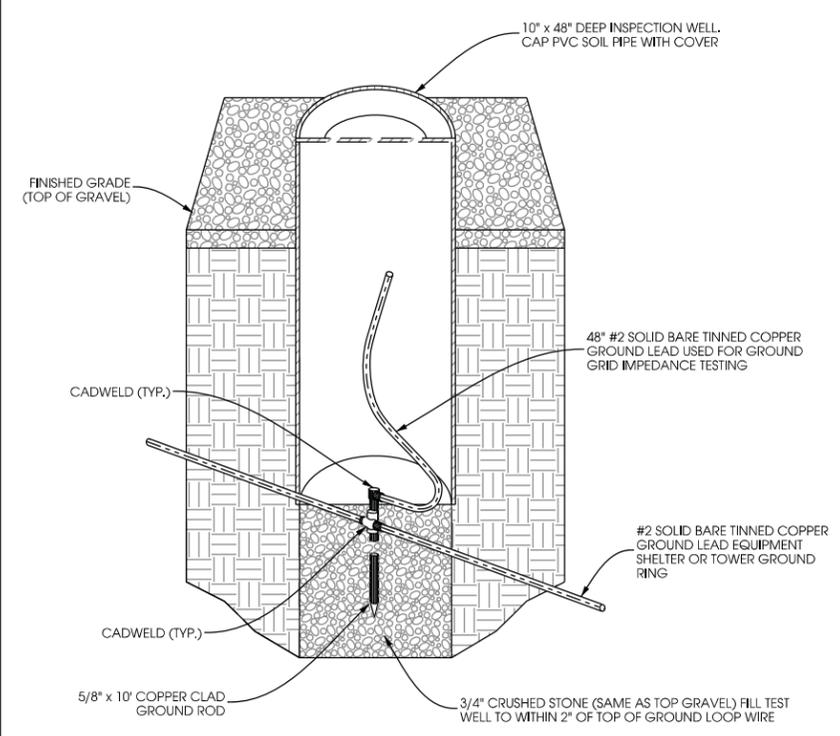
SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-3

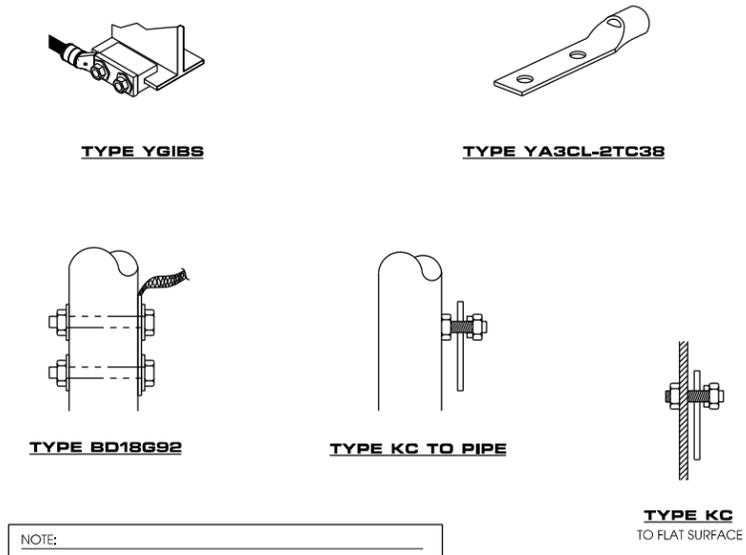
- NOTES**
- ALL OUTDOOR HARDWARE (BOLTS, SCREWS, NUTS, WASHERS) SHALL BE 18-8 STAINLESS STEEL TYPE GRADE. INDOORS, GRADE 5 STEEL HARDWARE MAY BE USED.
 - CHOOSE BOLT LENGTH TO ALLOW THE EXPOSURE OF AT LEAST TWO THREADS.
 - BACK TO BACK LUG CONNECTIONS ARE AN ACCEPTABLE PRACTICE WHEN BONDED TO A GROUND BAR OR STEEL OBJECTS.
 - AT CONNECTIONS MADE TO STEEL OR ANY OTHER DISSIMILAR METALS, A DRAGON TOOTH WASHER MEETING VZW PRACTICES SHALL BE USED BETWEEN THE CONNECTOR AND STEEL.
 - IF NOT USING DRAGON TOOTH WASHERS, THOROUGHLY REMOVE A SECTION OF PAINT OR COATING APPROXIMATELY THE SAME SIZE AS CONNECTOR. REMOVE THE PAINT FROM SURFACE USING A DREMEL TYPE TOOL.
 - USE AN APPROVED ANTI-OXIDATION COMPOUND ON ALL GROUNDING CONNECTIONS. A COPPER COSMOLINE GREASE BASED COMPOUND (NO OXID) SHALL BE USED ON ALL COPPER TO COPPER CONNECTIONS. A ZINC BASED (GREY COLORED) COMPOUND SHALL BE USED ON ALL COPPER TO STEEL CONNECTIONS.
 - WHEN BONDING TO A METALLIC OBJECT WHERE ACCESS IS LIMITED TO ONLY ONE SURFACE, DRILLING & TAPPING OR SELF DRILLING SCREWS ARE THE PREFERRED AND ACCEPTABLE MEANS OF CONNECTION. SHEET METAL SCREWS SHALL NOT BE USED.



A LUG DETAIL
SCALE: NTS



NOTE:
CADWELD "TYPES" SHOWN ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR OTHER POSSIBLE TYPES OF CADWELDS THAT CAN BE USED IN STANDARD OR SPECIALLY DESIGNED GROUNDING PLANS.
CONTRACTOR TO PROVIDE ALL REQUIRED CADWELD CONNECTIONS.



NOTE:
BURNDY "TYPES" SHOWN ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR OTHER POSSIBLE TYPES OF BURNDY CONNECTIONS THAT CAN BE USED IN STANDARD OR SPECIALLY DESIGNED GROUNDING PLANS.
CONTRACTOR TO PROVIDE ALL REQUIRED BURNDY CONNECTIONS.

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OVERVIEW OF SITE



OVERVIEW OF SITE



OVERVIEW OF SITE



EXISTING SELF-SUPPORT TOWER



EXISTING EQUIPMENT (TO BE REMOVED)



EXISTING EQUIPMENT (TO BE REMOVED)



EXISTING COMPOUND

THIS SPACE INTENTIONALLY LEFT BLANK

Edge
 Consulting Engineers, Inc.
 624 Water Street
 Proffle du Soc, WI 53578
 608.644.1449 voice
 608.644.1549 fax
 www.edgeconsult.com

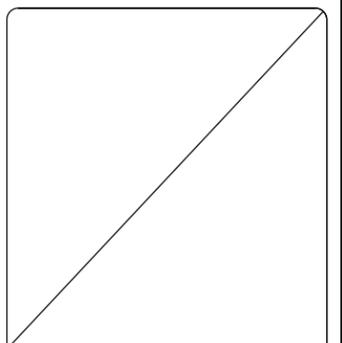
verizon
 1515 E. Woodfield Rd
 10th Floor
 Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	P-1.dgn

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LINCOLNWOOD
 (277176)
 7000 N. CENTRAL PARK AVE.
 LINCOLNWOOD, IL

SHEET TITLE
PICTURES

SHEET NUMBER
P-1

K:\2000\12981\CAD\Plan\WISZN\C08\B1.dgn

GENERAL

THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE INTERRELATED WHEN PERFORMING THE WORK. EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

DIVISION 1: GENERAL REQUIREMENTS

SECTION 01700 - PROJECT CLOSEOUT

PART 1 - GENERAL

- A. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.
B. SUBMIT RECORD DRAWINGS, DAMAGE, OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND SIMILAR FINAL RECORD INFORMATION.
C. COMPLETE FINAL CLEAN-UP REQUIREMENTS, INCLUDING TOUCH-UP PAINTING, TOUCH-UP AND OTHERWISE REPAIR AND RESTORED MARRED EXPOSED FINISHES.
PART 2 - FINAL CLEANING/PROJECT CLOSEOUT
1. COMPLETE THE FOLLOWING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATE OF COMPLETION:
A. CLEAN THE PROJECT SITE, YARD AND GROUNDS IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT, AREAS OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED TO A SMOOTH, EVEN-TEXTURED SURFACE.
B. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIAL FROM THE SITE.
C. REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT BUILDING.
D. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.
E. REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT BUILDING, MANHOLES AND SIMILAR SPACES.
F. REMOVE LABELS THAT ARE NOT PERMANENT LABELS.
G. TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES AND SURFACES, REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.
H. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY.
I. DUST OFF ALL EQUIPMENT, INCLUDING BATTERY PACKS, WITHIN EQUIPMENT BUILDING.
J. GENERAL CONTRACTOR TO CLEAN AND APPLY STATIC-FREE WAX TO THE FLOORS ONCE FINAL SHELTER EQUIPMENT AND ACCESSORIES ARE COMPLETED.

2. REMOVAL OF PROTECTION

REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.

DIVISION 2: SITE WORK

SECTION 02200 - EARTHWORK AND DRAINAGE

PART 1 - GENERAL

- 1. WORK INCLUDED - SEE SITE PLAN
2. DESCRIPTIONS

ACCESS DRIVE WITH TURN-AROUND AREA, LEASE AREA, AND, IF APPLICABLE, UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL-DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.

3. QUALITY ASSURANCE

- A. APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
B. APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (AS NEEDED).
C. PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.

4. SEQUENCING

- A. CONFIRM SURVEY STAKES AND SET ELEVATIONS STAKES PRIOR TO ANY CONSTRUCTION.
B. COMPLETELY GRUB THE ACCESS DRIVE WITH TURN-AROUND, UNDERGROUND UTILITY EASEMENTS (IF APPLICABLE), AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION, PLACEMENT OF BACKFILL AND SUB-BASE MATERIAL.
C. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.
D. BRING THE LEASE AREA AND ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
E. APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS SUCH THAT THE STERILIZER ONLY COMES IN CONTACT WITH PROPOSED GRAVEL SURFACES
F. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AND ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION. WATER TO ENSURE GROWTH.

- G. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY THE PROJECT MANAGER.
H. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO STONE SURFACES.
5. SUBMITTALS
A. BEFORE CONSTRUCTION
IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO (2) COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD. IF LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS ON NURSERY LETTERHEAD. REFER TO PLANS FOR LANDSCAPING REQUIREMENTS.

- G. PLACE FILL OR STONE IN SIX (6) INCH MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
B. AFTER CONSTRUCTION
1. MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STERILIZED.
2. MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER.
3. LANDSCAPING WARRANTY STATEMENT.

6. WARRANTY

- A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND RESTORE AREA AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE AT SITE AND SURROUNDINGS.
B. SOIL STERILIZATION APPLICATION TO GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
C. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS PRIOR TO FINAL INSPECTION.
D. LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.

PART 2 - PRODUCTS

1. MATERIALS

- A. SOIL STERILIZER SHALL BE AN EPA REGISTERED, PRE-EMERGENCE LIQUID:
TOTAL KILL PHASAR CORPORATION
PRODUCT 910 P.O. BOX 5123
EPA 10292-7 DEARBORN, MI 48128
313.563.8000
AMBUSH HERBICIDE FRAMAR INDUSTRIAL PRODUCTS
EPA REGISTERED 1435 MORRIS AVENUE
UNION, NJ 07083
800.526.4924

- B. ROAD AND SITE MATERIALS SHALL CONFORM TO DOT SPECIFICATIONS (UNLESS OTHERWISE NOTED). ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS.
C. SOIL STABILIZED FABRIC SHALL BE MIRAFI - 500X.

PART 3 - EXECUTION

1. INSPECTIONS

LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY THE LOCAL JURISDICTION.

2. PREPARATION

- A. CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA, ACCESS DRIVE WITH TURN-AROUND, AND UNDERGROUND UTILITY EASEMENTS AS REQUIRED FOR CONSTRUCTION.
B. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
C. UNLESS OTHERWISE INSTRUCTED BY LEASEE, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH A STABILIZED MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.
F. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, REMOVE SOFT SPOTS, PLACE SELECT FILL, AND COMPACT TO 95% MODIFIED PROCTOR.

3. INSTALLATION

- A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE WITH TURN-AROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPOILS RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
B. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.
C. BRING THE ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
E. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE NOTED.
F. WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
H. THE TOP SURFACE COURSE SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE, UNLESS OTHERWISE NOTED, AND SHALL COVER THE AREA AS INDICATED.

- I. NO SLOPES ARE TO BE GREATER THAN 3:1.
J. APPLY RIP-RAP TO THE SIDES OF DITCHES AND DRAINAGE SWALES WHERE INDICATED ON THE DRAWINGS.
K. RIP-RAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT CULVERT OPENINGS, (WHEN APPLICABLE)
L. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIP-RAPPED.
M. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.
N. IN DITCHES WITH SLOPES GREATER THAN 10%, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT AN ANGLE NO GREATER THAN 60° OFF THE DITCH LINE. RIP-RAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.
O. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
P. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
Q. ENSURE GROWTH OF SEEDS AND LANDSCAPED AREAS BY WATERING UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.

4. FIELD QUALITY CONTROL

COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.

5. PROTECTION

- A. PROTECT SEEDS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE.
B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH HOSE PROTECTED WIRE, AND SECURED TO 2" x 4" - 6" WOODEN STAKES EXTENDING TWO-FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.
C. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

SECTION 02830 - CHAIN-LINK FENCING AND GATE(S)

PART 1 - GENERAL

- 1. WORK INCLUDED
SEE PLAN FOR SITE AND LOCATION OF FENCE AND GATE(S).
2. QUALITY ASSURANCE

ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN TWELVE (12) OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE 'E' ZINC, EIGHTEEN (18) OUNCES PER SQUARE FOOT.

3. SEQUENCING

IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.

4. SUBMITTALS

- A. MANUFACTURER'S DESCRIPTIVE LITERATURE.
B. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

PART 2 - PRODUCTS

1. FENCE MATERIAL

- A. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
B. FABRIC SHALL BE 9 GAUGE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.
C. BARBED WIRE SHALL BE DOUBLE-STRAND, 12-1/2 GAUGE TWISTED WIRE, WITH 14-GAUGE, 4-POINT ROUND BARBS SPACED ON FIVE (5) INCH CENTERS.
D. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE PER ASTM-F1083 AND OF THE FOLLOWING ACTUAL OUTER DIAMETERS:
LINE: 2.375" O.D. SCHEDULE 40
CORNER: 2.875" O.D. SCHEDULE 40 (FOR FENCE FABRIC HEIGHT OF 6' OR LESS)
3.5" O.D. SCHEDULE 40 (FOR FENCE FABRIC HEIGHT OF 8' OR LESS)
GATE: 4" O.D. SCHEDULE 40
E. GATE POSTS SHALL BE EXTENDED TWELVE (12) INCHES, INCLUDING DOME CAP, TO PROVIDE FOR ATTACHMENT OF BARBED WIRE.
F. ALL TOP AND BRACE RAILS SHALL BE 1.66" O.D. SCHEDULE - 40 MECHANICAL-SERVICE PIPE.
G. GATE FRAMES AND BRACES SHALL BE 1.9" O.D. SCHEDULE 40 MECHANICAL-SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.

- H. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
I. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 180-DEGREE ATTACHMENT.
J. THE GUIDE (LATCH ASSEMBLY) SHALL BE HEAVY INDUSTRIAL DOUBLE GATE LATCH. SEE DETAIL(S).
K. LATCHES AND STOPS SHALL BE PROVIDED FOR ALL GATES.
L. PLUNGER ROD COMPLETE WITH RECEPTOR TO BE PROVIDED AT THE INACTIVE LEAF OF ALL DOUBLE GATE INSTALLATIONS.
M. ALL STOPS SHALL HAVE KEEPERS CAPABLE OF HOLDING THE GATE LEAF IN THE OPEN POSITION.
N. A 9 GAUGE ALUMINUM TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.
O. A SIX (6) INCH BY 1/2 INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS. (WHEN APPLICABLE)
P. STRETCHER BARS SHALL BE 3/16 INCH BY 3/4 INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.
Q. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8 INCH TRUSS ROD WITH TURNBUCKLES.
R. ALL POSTS EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.
S. OTHER HARDWARE INCLUDES, BUT MAY NOT BE LIMITED TO, THE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.
T. BARBED WIRE GATE GUARDS SHALL BE FITTED WITH DOME CAPS.
U. BARBED WIRE SUPPORT ARMS SHALL BE PRESSED STEEL COMPLETE WITH SET BOLT AND LOCK WIRE IN THE ARM.
V. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.
W. WHERE THE USE OF CONCERTINA HAS BEEN SPECIFIED, 24-INCH DIAMETERS COIL, BARBED TAPE, STAINLESS STEEL, CYCLONE FENCE MODEL G8P TO TYPE III SHALL BE FURNISHED. IT SHALL BE SUPPORTED ABOVE THE TOP RAIL, BY USE OF SIX (6) WIRE BARBED WIRE ARMS POSITIONED ATOP EACH LINE/CORNER POST.

PART 3 - EXECUTION

1. INSPECTION

TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS.

2. INSTALLATION

- A. FOUNDATIONS SHALL HAVE A MINIMUM SIX (6) INCH CONCRETE COVER UNDER POST.
B. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB WITHIN ONE QUARTER (1/4) INCH.
C. FABRIC SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE.
D. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
E. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
F. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH TIE-CLIPS AT TWO (2) FOOT INTERVALS.
G. A MAXIMUM GAP OF ONE (1) INCH WILL BE PERMITTED BETWEEN THE CHAIN LINE FABRIC AND THE FINAL GRADE.
H. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
I. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.
J. GATE POSTS SHALL NOT BE SHARED AS A CORNER POST.
K. CONCRETE TO BE A MINIMUM OF 3,000 PSI AT 28 DAYS. CEMENT SHALL EXCEED ASTM C150, TYPE IIIA.

3. PROTECTION

UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL.

APPLICABLE STANDARDS:

- ASTM-A53 SPECIFICATION FOR PIPE, STEEL BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.
ASTM-A123 ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.
ASTM-A153 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
ASTM-A392 SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
ASTM-A491 SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE FABRIC
ASTM-A525 STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS.
ASTM-A570 SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP, STRUCTURAL QUALITY.
ASTM-A535 SPECIFICATION FOR ALUMINUM COATED STEEL BARBED WIRE, FEDERAL SPECIFICATION RR-F-191- FENCING, WIRE AND POST METAL AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES.
ASTM-F1083 SPECIFICATION FOR PIPE, STEEL HOT-DIPPED ZINC-COATED (GALVANIZED) WELDED, FOR FENCE STRUCTURES.

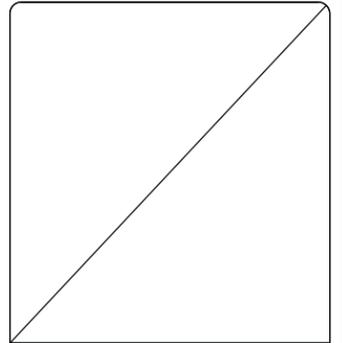


Table with project metadata: LOCATION ID: 277176, EDGE PROJECT NO: 12981, CHECKED BY: PCM, PLOT DATE: 8/17/2016, FILE NAME: SP-1.dgn

Revision table with columns: REV., DATE, PRELIMINARY DWGS, INT. Rows 1-4 showing preliminary CD revisions.

Revision table with columns: REV., DATE, STAMPED PERMIT DWGS, INT. Rows 1-5 showing permit CD revisions.

Revision table with columns: REV., DATE, STAMPED FINAL DWGS, INT. (Empty table)



I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

LINCOLNWOOD (277176) 7000 N. CENTRAL PARK AVE. LINCOLNWOOD, IL

SHEET TITLE SPECIFICATIONS

SHEET NUMBER SP-1

9. I.E.E.E. FALL POTENTIAL TESTS

A. FOR RAW LAND SITE

1. GROUND TESTS SHALL BE PERFORMED AS INDICATED ON DRAWINGS. A BIDDLE GROUND OHMER OR THE METHOD OF USING TWO AUXILIARY GROUND RODS (AS DESCRIBED IN I.E.E.E. STANDARDS NO. 81-1983, PART 1) MAY BE USED. THE I.E.E.E. METHOD REQUIRES THE USE OF AN A.C. TEST CURRENT. THE AUXILIARY TEST RODS MUST BE SUFFICIENTLY FAR AWAY FROM THE ROD UNDER TEST SO THAT THE REGIONS IN WHICH THEIR RESISTANCE IS LOCALIZED DO NOT OVERLAP. THE TEST POINT WILL BE THE GROUND ROD AND WILL CONSIST OF THE THREE POINT FALL OF POTENTIAL MEGGER TEST METHOD, USING THE BIDDLE NULL-BALANCE EARTH TESTER (MEGGER #250220-2, OR EQUIVALENT)
2. CONTRACTOR TO CONDUCT GROUND RESISTANCE TEST IN THE FORMAT AS FOLLOWS:

B. EQUIPMENT PAD

1. FIRST TEST - SHALL BE WITH FOUR (4) GROUND RODS INSTALLED, ONE AT EACH CORNER OF THE PAD BUT NOT CONNECTED TO THE MAIN GROUNDING BUS, FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL FOUR (4) GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL FOUR (4) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

C. TOWER

1. FIRST TEST - SHALL BE WITH THREE (3) GROUND RODS INSTALLED (MINIMUM), EQUALLY SPACED AROUND THE TOWER FOUNDATION, BUT NOT CONNECTED TO THE SHELTER PAD EXTERNAL GROUND RING. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL THREE (3) GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL THREE (3) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT EITHER ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

D. EQUIPMENT PAD AND TOWER

1. AFTER THE EQUIPMENT PAD AND TOWER GROUND RESISTANCE TEST IS COMPLETED, CONTRACTOR SHALL TIE THE EQUIPMENT PAD EXTERNAL GROUND RING AND TOWER EXTERNAL GROUND RING TOGETHER. AFTER FIRST AND SECOND TEST ALL CONNECTIONS MUST BE MADE USING EXOTHERMIC WELD. NO LUGS OR CLAMPS WILL BE ACCEPTED.
2. AFTER ALL THE EXTERNAL GROUND RINGS ARE TIED TOGETHER, COMPLETE A MEGGER CHECK OF THE GROUND SYSTEM. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND.

10. GROUNDING RESISTANCE TEST REPORT

UPON COMPLETION OF THE TESTING FOR EACH SITE, A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS ARE OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.

SECTION 16503 - POLES, POSTS, AND STANDARDS

1. GENERAL

- A. LIGHTNING ROD AND EXTENSION PIPE INCLUDING ALL APPURTENANCES, TO BE FURNISHED BY OWNER, IF REQUIRED.
- B. PROVIDE TEMPORARY LIGHTING FOR TOWER AS PER FAA REGULATIONS DURING CONSTRUCTION, IF REQUIRED.
- C. GROUNDING
GROUND TOWER WITH A MINIMUM OF #2 AWG TINNED SOLID BARE COPPER CONDUCTOR CADWELDED TO TABS (IF PRESENT). TWO (2) GROUNDING LEADS PER TOWER. NO EXOTHERMIC WELDS SHALL BE ATTACHED DIRECTLY TO THE TOWER STEEL.

SECTION 16745 - TELECOMMUNICATIONS WIRING COMPONENTS (COAXIAL ANTENNA CABLE)

1. GENERAL

- A. ALL MATERIALS, PRODUCTS OR PROCEDURES INCORPORATED INTO WORK SHALL BE NEW AND OF STANDARD COMMERCIAL QUALITY.
- B. CERTAIN MATERIALS AND PRODUCTS WILL BE SUPPLIED BY THE OWNER (REFER TO GENERAL CONDITIONS FOR THE LIST OF OWNER FURNISHED EQUIPMENT, MATERIALS AND SUPPLIES FOR THESE ITEMS). THE CONTRACTOR IS RESPONSIBLE FOR PICKUP AND DELIVERY OF ALL SUCH MATERIALS.
- C. ALL OTHER MATERIALS AND PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR.

2. MATERIALS:

A. COAXIAL CABLE:

1. INSTALL COAXIAL CABLE AND TERMINATIONS BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS WITH COAXIAL CABLES SUPPORTED AT NO MORE THAN 3'-0" O.C. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURERS' REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF EQUIPMENT LOCATION UNLESS OTHERWISE STATED.
2. ALL COAX RUNS SHALL BE 1-5/8" UNLESS OTHERWISE INDICATED.
3. ANTENNA AND COAXIAL CABLE GROUNDING
 - A. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)
4. COAXIAL CABLE IDENTIFICATION
 - A. TO PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING, MARK CABLE:
 1. FIRST LOCATION IS AT THE END OF THE COAX NEAREST THE ANTENNA (WHERE THE COAXIAL CABLE AND JUMPER ARE CONNECTED).
 2. SECOND LOCATION IS INSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.
5. TESTING
IF REQUESTED BY CONSTRUCTION MANAGER, LESSEE SHALL PROVIDE AN INDEPENDENT TESTING AGENCY TO PERFORM THE COAXIAL SWEEP TEST & REPORT. THE CONTRACTOR SHALL PROVIDE ONE CLIMBER / QUALIFIED PERSONNEL TO ASSIST IN ANY REPAIRS AND WEATHERPROOFING ONCE THE TEST IS COMPLETE. THE CONTRACTOR SHALL PROVIDE LESSEE WITH A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE PRIOR TO THE TIME OF THE SWEEP TEST.

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624 Water Street
Pottsville, PA 17854
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www.edgeconsult.com



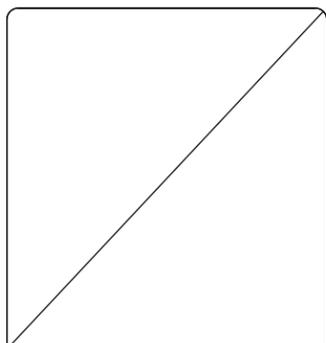
1515 E. Woodfield Rd
10th Floor
Schaumburg, IL 60173

LOCATION ID:	277176
EDGE PROJECT NO:	12981
CHECKED BY:	PCM
PLOT DATE:	8/17/2016
FILE NAME:	SP-3.dgn

REV.	DATE	PRELIMINARY DWGS	INT.
1	12/23/2015	PRELIMINARY CDs	MJM
2	02/03/2016	PRELIMINARY CDs	MJM
3	02/29/2016	PRELIMINARY CDs	MJM
4	05/05/2016	PRELIMINARY CDs	NAT

REV.	DATE	STAMPED PERMIT DWGS	INT.
1	04/26/2016	PERMIT CDs	APK
2	05/25/2016	PERMIT CDs	NAT
3	06/22/2016	PERMIT CDs	APK
4	07/13/2016	PERMIT CDs	APK
5	08/17/2016	PERMIT CDs	APK

REV.	DATE	STAMPED FINAL DWGS	INT.



I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

LINCOLNWOOD
(277176)
7000 N. CENTRAL PARK AVE.
LINCOLNWOOD, IL

SHEET TITLE
SPECIFICATIONS

SHEET NUMBER
SP-3

R:\2000\12981\CAD\PLANS\WIRING\SC2M\CDS\SP-3.dgn

Request For Board Action

REFERRED TO BOARD: September 6, 2016

AGENDA ITEM NO: 2

ORIGINATING DEPARTMENT: Community Development

SUBJECT: Approval of a Recommendation by the Plan Commission in Case #PC-13-16 to Adopt an Ordinance Granting Hatzalah Chicago a Special Use to Operate an Emergency Medical Services Business 24 Hours a Day at 6430 North Hamlin Avenue

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

Hatzalah Chicago seeks Special Use authorization to permit an emergency medical services business to operate 24 hours a day at 6430 North Hamlin Avenue. The subject property is located within the M-B Light Industrial/Business District and Hatzalah's use is permitted, with the exception of the proposed hours of operation. The Zoning Code requires Special Use approval for any business operating before 7:00 a.m. and after 11:00 p.m. on a property located within 150 feet of a residentially-zoned or residentially-used property. A residential townhouse building is located within 150 feet of the subject property at the northwest corner of Hamlin and Devon Avenues.

As proposed, the subject property will be used for storing two emergency vehicles and related equipment. When a Hatzalah member receives an emergency call, the Hatzalah technician will go to the subject property and respond to the call in an ambulance stored at the site. The Petitioner indicates that the property is improved with an overhead garage door for easy access into and out of the building.

In 2015, Hatzalah filed for the same Special Use approval to operate the emergency medical service business at 6430 North Hamlin Avenue. Their request was approved; however, this approval has since expired as Hatzalah did not begin operation within six months of the Special Use approval. As a result, in order for Hatzalah to operate at 6430 North Hamlin Avenue, a new Special Use approval is necessary.

Public Hearing

A Public Hearing on this matter was held by the Plan Commission on August 24, 2016. On behalf of Hatzalah Chicago, Mr. Craig Frank testified before the Plan Commission indicating that the reason the prior approval expired was largely due to their organization being a not-for-profit and their inability to raise sufficient funds, in a timely fashion, to fully execute their plans to operate from 6430 North Hamlin Avenue.

At the request of the Plan Commission, Mr. Frank provided greater detail on the operation of the not-for-profit business. Mr. Frank explained that the organization is staffed by volunteers who respond to an emergency call placed directly to a dispatcher who forwards the call to both a Hatzalah technician and 911. Mr. Frank further stated that they respond to an average of two calls during the day and approximately two calls per evening. Mr. Frank added that they will not operate the sirens on the ambulance unless traffic conditions necessitate the use.

The Plan Commission reiterated their previous opposition, related to the 2015 request, to the inclusion of bunkhouses and/or overnight stay of employees at the facility. Mr. Frank stated that they have no plans for a bunkhouse now or in the future.

Ms. Sarah Joe, 3806 West Devon Avenue, stated that she is a new resident at the townhomes at the corner of Hamlin and Devon Avenues and is most concerned with any increase in noise in the area. No other person provided comment or testified on this matter at the Public Hearing.

Plan Commission Recommendation

In considering this matter, the Plan Commission concurred with the findings submitted by the applicant and, by a unanimous 6-0 vote, recommends approval of the Special Use Permit to authorize Hatzalah Chicago to operate an emergency medical services business 24 hours a day at 6430 North Hamlin Avenue subject to:

1. No overnight stay or bunkhouse is permitted; and
2. Hatzalah may not operate sirens on the ambulance within 200 feet of the residential property at Hamlin Avenue and Devon Avenue between the hours of 11:00 p.m. and 7:00 a.m.

Consistent with the unanimous recommendation of the Plan Commission, attached is the proposed Ordinance to approve the Special Use.

As part of the Plan Commission deliberation, the Commission recommended the Village Board consider amending the Zoning Code to extend the expiration date for zoning approvals and/or an amendment to add an administrative extension process. The Plan Commission concluded that Petitioners, similar to Hatzalah, should not be required to go through the entire review process when an approval was granted so recently.

FINANCIAL IMPACT:

None

DOCUMENTS ATTACHED:

1. Proposed Ordinance
2. August 24, 2016 Plan Commission Minutes Excerpt (Draft)
3. August 24, 2016 Staff Report to Plan Commission
4. Ordinance No. 2015-3151
5. March 4, 2015 Plan Commission Minutes Excerpt
6. Special Use Public Hearing Application
7. Project Description
8. Title Commitment
9. Plat of Survey

RECOMMENDED MOTION:

Move to concur with the recommendation of the Plan Commission in Case #PC-13-16 and Adopt an Ordinance Granting Hatzalah Chicago a Special Use Permit for an Emergency Medical Services Business to Operate 24 Hours a Day at 6430 North Hamlin Avenue.

THIS SPACE FOR RECORDERS USE ONLY

VILLAGE OF LINCOLNWOOD

ORDINANCE NO. 2016-____

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR
THE OPERATION OF A 24-HOUR EMERGENCY MEDICAL SERVICE BUSINESS**
(6430 North Hamlin Avenue)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LINCOLNWOOD
THIS ____ DAY OF _____, 2016.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Lincolnwood,
Cook County, Illinois this
____ day of _____, 2016

Village Clerk

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR
THE OPERATION OF A 24-HOUR EMERGENCY MEDICAL SERVICE BUSINESS**
(6430 North Hamlin Avenue)

WHEREAS, 6420 Hamlin, LLC ("**Owner**") is the record title owner of that certain property located in the M-B Light Manufacturing/Business District ("**M-B District**"), commonly known as 6430 North Hamlin Avenue, and legally described in **Exhibit A** attached to and, by this reference, made a part of this Ordinance ("**Property**"); and

WHEREAS, the Property is located within 150 feet of another property that is zoned and used for residential purposes; and

WHEREAS, Hatzalah Chicago ("**Applicant**") now desires to lease the Property from the Owner and to operate a 24-hour emergency medical service business on the Property ("**Proposed Business**"); and

WHEREAS, pursuant to Section 4.08(4) of "the Village of Lincolnwood Zoning Ordinance" as amended ("**Zoning Ordinance**"), businesses located in the M-B District and within 150 feet of another property zoned or used for residential purposes may not be operated before 7:00 a.m. or after 11:00 p.m. on any day, except upon issuance of a special use permit by the Village Board of Trustees; and

WHEREAS, the Applicant, with the consent of the Owner, has filed an application for a special use permit to allow the 24-hour operation of the Proposed Business on the Property ("**Requested Special Use Permit**"); and

WHEREAS, a public hearing of the Plan Commission of the Village of Lincolnwood to consider approval of the Requested Special Use Permit was duly advertised in the *Lincolnwood Review* on August 4, 2016 and held on August 24, 2016; and

WHEREAS, on August 4, 2016, the Plan Commission made findings and recommendations in support of the Requested Special Use Permit, subject to specified conditions; and

WHEREAS, the Village President and Board of Trustees have determined that the Requested Special Use Permit meets the required standards for special use permits as set forth in Article V of the Zoning Ordinance; and

WHEREAS, the Village President and Board of Trustees have determined that it will serve and be in the best interests of the Village to grant the Requested Special Use Permit, subject to the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. APPROVAL OF SPECIAL USE PERMIT. In accordance with, and pursuant to, Article V of the Zoning Ordinance and the home rule powers of the Village, and subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 3 of this Ordinance, the Village President and Board of Trustees hereby grant a special use permit to the Applicant to allow the 24-hour operation of an emergency medical service business on the Property.

SECTION 3. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Ordinance, the approval granted pursuant to Section 2 of this Ordinance is hereby expressly subject to, and contingent upon, the development, use, and maintenance of the Property in compliance with each and all of the following conditions:

- A. Compliance with Regulations. Except to the extent specifically provided otherwise in this Ordinance, the development, use, operation, and maintenance of the Property must comply at all times with all applicable Village codes and ordinances, as the same have been or may be amended from time to time.
- B. Sirens. The Applicant may not use sirens within 200 feet of the intersection of Devon Avenue and Hamlin Avenue.
- C. Reimbursement of Village Costs. In addition to any other costs, payments, fees, charges, contributions, or dedications required under applicable Village codes, ordinances, resolutions, rules, or regulations, the Applicant must pay to the Village, promptly upon presentation of a written demand or demands therefor, all legal fees, costs, and expenses incurred or accrued in connection with the review, negotiation, preparation, consideration, and review of this Ordinance. Payment of all such fees, costs, and expenses for which demand has been made must be made by a certified or cashier's check. Further, the Applicant will be liable for, and must pay upon demand, all costs incurred by the Village for publications and recordings required in connection with the aforesaid matters.

SECTION 4. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded with the Cook County Recorder of Deeds. This Ordinance and the privileges, obligations, and provisions contained herein will inure solely to the benefit of, and be binding upon, the Owner, the Applicant, and each of their heirs, representatives, successors, and assigns.

SECTION 5. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Owner or the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, as applicable, the approval granted in Section 2 of this Ordinance will, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approval granted in Section 2 of this Ordinance unless they first provide the Owner and the Applicant with two months advance written notice of

the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of revocation, the development and use of the Property will be governed solely by the regulations of the M-B District and the applicable provisions of the Zoning Ordinance, as the same may, from time to time, be amended. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances.

SECTION 6. AMENDMENTS. Any amendments to the approval granted in Section 2 of this Ordinance that may be requested by the Owner or the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance.

SECTION 7. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance will remain in full force and effect, and will be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 8. EFFECTIVE DATE.

- A. This Ordinance will be effective only upon the occurrence of all of the following events:
1. Passage by the Village President and Board of Trustees in the manner required by law;
 2. Publication in pamphlet form in the manner required by law; and
 3. The filing by the Owner and the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of **Exhibit B** attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance; and
- B. In the event the Owner or the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 8.A.3 of this Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in its sole discretion, to declare this Ordinance null and void and of no force or effect.

[SIGNATURE PAGE FOLLOWS]

PASSED this ____ day of _____, 2016.

AYES:

NAYS:

ABSENT:

ABSTENTION:

APPROVED by me this ____ day of _____, 2016.

Lawrence A. Elster, President Pro-Tem
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
____ day of _____, 2016

Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

THAT PART OF LOTS 3 AND 4 IN FREDERICK W. SHEFTE'S SUBDIVISION OF LOT 12 IN JOHN PROESEL ESTATE PARTITION BEING A SUBDIVISION OF THE SOUTH ½ OF THE SOUTHWEST ¼ OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

NOTE; THE SOUTH LINE OF LOT 4 IS ASSUMED "DUE EAST-WEST" FOR THE FOLLOWING COURSES

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF AN EXISTING 12 STORY BRICK BUILDING (WHOSE SOUTH WALL IS 0.43 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF AFORESAID LOT 4) EXTENDED EAST TO THE EAST LINE OF AFORESAID LOT 4 FOR THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND:

THENCE DUE WEST, IN AFORESAID SOUTH LINE OF 1 STORY BRICK BUILDING AND ITS EXTENSION EAST, A DISTANCE OF 150.13 FEET TO THE SOUTHWEST CORNER OF THIS BRICK BUILDING; THENCE NORTH 0 DEGREES 06 MINUTES WEST BEING ALONG THE WEST FACE OF AFORESAID 1 STORY BRICK BUILDING, 70.00 FEET TO THE NORTHWEST CORNER OF SAID BUILDING; THENCE DUE EAST ALONG THE NORTH FACE OF SAID BUILDING 7.20 FEET TO THE WEST FACE OF ANOTHER EXISTING 1 STORY BRICK BUILDING; THENCE DUE NORTH ALONG SAID LINE, 100.60 FEET TO THE SOUTH LINE OF SAID LOT 3; THENCE DUE WEST ON SAID LINE, 78.43 FEET TO THE EAST FACE OF AN EXISTING FENCE; THENCE NORTH 01 DEGREE 14 MINUTES 40 SECONDS EAST ALONG AFORESAID EXISTING FENCE, BEING PARALLEL WITH THE EAST LINE OF SAID LOTS 3 AND 4, 92.90 FEET TO A POINT IN A LINE THAT IS 15 FEET SOUTH, BY RIGHT ANGLE MEASURE, OF AND PARALLEL WITH THE NORTH LINE OF SAID LOT 3; (BEING A POINT IN THE SOUTH LINE OF A 15 FOOT EASEMENT AS PER DOCUMENT NUMBER 19635472) THENCE DUE EAST ON LAST DESCRIBED LINE, 225.22 FEET TO THE SAID EAST LINE OF SAID LOT 3; THENCE SOUTH 1 DEGREE 14 MINUTES 40 SECONDS WEST, ALONG THE EAST LINE OF SAID LOTS, 236.54 FEET TO THE PLACE OF BEGINNING

Commonly known as: 6430 North Hamlin Avenue, Lincolnwood, Illinois

P.I.N.: 10-35-325-024-0000

EXHIBIT B

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Lincolnwood, Illinois ("**Village**");

WHEREAS, 6420 Hamlin, LLC ("**Owner**") is the record title owner of that certain property located in the M-B Light Manufacturing/Business District ("**M-B District**"), commonly known as 6430 North Hamlin Avenue, in the Village ("**Property**"); and

WHEREAS, Ordinance No. 2016-_____, adopted by the Village President and Board of Trustees on _____, 2016 ("**Ordinance**"), grants a special use permit to Hatzalah Chicago ("**Applicant**") in connection with the 24-hour operation of an emergency medical service business on the Property; and

WHEREAS, Section 8 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Owner and the Applicant files, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Owner and Applicant do hereby agree and covenant as follows:

1. The Owner and the Applicant hereby unconditionally agree to accept, consent to, and abide by each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.
2. The Owner and the Applicant acknowledge that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Owner and the Applicant acknowledge and agree that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of the special use permit for the Property or its adoption of the Ordinance, and that the Village's approvals do not, and will not, in any way, be deemed to insure the Owner or the Applicant against damage or injury of any kind and at any time.

4. The Owner and the Applicant hereby agree to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Ordinance granting the special use permit for the Property.

Dated: _____, 2016

ATTEST:

6420 HAMLIN, LLC

By: _____

By: _____

Its: _____

Its: _____

ATTEST:

HATZALAH CHICAGO

By: _____

By: _____

Its: _____

Its: _____

Ms. Georgia Talaganis, 3955 West Estes Avenue, spoke on behalf of the Friends of the Lincolnwood Library, said that this area should preserve the rights of the neighborhood and for people using the library and does not see how this plan is safe.

Mr. Joseph Nofari, 6924 Keystone Avenue, said that he likes the Lincoln Avenue portion of the plan, but does not see how selling public property to a private individual benefits the public.

Ms. Doris Guthman, 7136 Kedvale Avenue, stated that Airoom's business seems to flourish even without this new parking.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Let the record state that no one came forward.

Motion to recommend approval of the Special Use and Variations was made by Commissioner Fishman and seconded by Commissioner Sampen to include the Development Review Team's recommended conditions including: all replacement sidewalks must be at least five feet in width; the final species and location of the proposed trees in the right-of-way to be approved by the Village; all new parkway trees must have a minimum caliper of 2.5 inches; an IDOT permit will be required for proposed work within the Lincoln Avenue rights-of-way; vacation of Keystone Avenue; and a Plat of Consolidation which would formally consolidate the to-be-vacated portion of Keystone Avenue to the subject property; a covenant to run with the land restricting the property for parking only and to recommend to the Traffic Commission whether to allow a tow zone to the north of the property adjacent to the alley on Keystone Avenue, and for the Petitioner make a contribution to the tree bank.

Aye: Fishman, Sampen, Goldfein, Novoselsky, Pauletto, Sampen, and Yohanna

Nay: None

Motion Approved: 6-0

DRAFT

V. Case #PC-13-16: Public Hearing: 6430 North Hamlin Avenue – Special Use

Chairman Yohanna announced Case #PC-13-16 to consider Hatzalah Chicago to operate 24 hours a day exceeding permitted hours of operation for 6430 North Hamlin Avenue. Chairman Yohanna swore in the Petitioner Mr. Craig Frank.

Development Manager Cook outline Hatzalah Chicago's Special Use request to allow an emergency medical service business 24 hours a day at 6430 North Hamlin Avenue. The property is located within the M-B Manufacturing/Business District. The Zoning Code requires that any business that operates before 7:00 a.m. and after 11:00 p.m. within 150 feet of a residentially zoned property must seek Special Use approval. Hatzalah Chicago was previously granted a Special Use in April 2015. Since they have not yet opened their business at the Hamlin address, their Special Use request expired and Hatzalah Chicago would like to extend this request.

Mr. Frank reiterated the nature of their business and stated the reason for the delay in opening their facility is that Hatzalah Chicago is an all-volunteer organization and the extension is necessary as their fundraising took longer than anticipated. Mr. Frank said that plans have been submitted for a building permit.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Listed below are comments from members of the audience.

Ms. Sara Joe, 3806 West Devon Avenue, is concerned that 150 feet is not enough distance from their residence and asked if there would be flexibility to extend the distance. Mr. Frank said there is flexibility and the sirens are only used if they are necessary to go through red lights and heavy traffic. Mr. Frank said that they respond to two calls per night on average.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Let the record state that no one came forward.

Motion to recommend approval for Commissioner Pauletto and seconded by Commissioner Novoselsky for an emergency medical service to operate 24 hours a day, not be used for residential purposes, and to include the prohibition of sirens between the hours of 11:00 p.m. to 7:00 a.m. within 250 feet of residential uses.

Aye: Pauletto, Novoselsky, Fishman, Goldfein, Sampen, and Yohanna

Nay: None

Motion Approved: 6-0

VI. Case #PC-14-16: Public Hearing: 7017 North Central Park Avenue – Special Use

Chairman Yohanna announced Case #PC-14-16 to recommend relocating a wireless antenna on an existing tower. Chairman Yohanna swore in the Petitioner Mr. Jim Moser.

Development Manager Cook outlined the request for relocating wireless communication equipment on an existing freestanding tower. The existing tower is located at 7017 North Central Park Avenue in the M-B Manufacturing/Business District. Special Use approval is required for all new wireless communication facilities. There is an existing 110-foot freestanding tower with an existing carrier located at the top. Verizon has existing equipment at 30 feet above grade which was approved by the Village Board in June 2014 and would like to remove this equipment and reinstalled at 88 feet above grade.

Mr. Moser stated that Verizon's coverage will increase due to the higher elevation. The tower will stay aesthetically the same.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Let the record state that no one came forward.

Motion to recommend approval was made by Commissioner Sampen and seconded by Commissioner Fishman.

Aye: Sampen, Fishman, Goldfein, Novoselsky, Pauletto, and Yohanna

Nay: None

Motion Approved: 6-0

VII. Other Business

Commissioner Novoselsky asked staff if a Special Use request's timeframe could be extended for a year instead of six months. Commissioner Fishman asked for an update on the Comprehensive Plan, the Dominick's site, and Begyle Brewing. Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Let the record state that no one came forward.



Plan Commission Staff Report

Case #PC-13-16

August 24, 2016

Subject Property:
6430 North Hamlin Avenue

Zoning District: M-B Light
Manufacturing/Business District

Petitioner: Hatzalah Chicago,
Contract Purchaser and 6430 North
Hamlin LLC

Nature of Request: The Petitioner
seeks Special Use approval to permit an
emergency medical service business to
operate 24 hours a day.



Notification: Notice in Lincolnwood Review dated August 4, 2016, Public Hearing Sign Installed at 6430 North Hamlin Avenue, and Mailed Legal Notices Dated August 3, 2016 to Properties within 250 feet.

Summary of Request

The Petitioner, Hatzalah Chicago, seeks Special Use authorization to permit an emergency medical services business to operate 24 hours a day at the subject property. The subject property is within the M-B Light Industrial/Business District and the use is a Permitted Use other than the hours of operation. The Zoning Code requires Special Use approval for any business operating before 7:00 a.m. and after 11:00 p.m. on a property within 150 feet of a residentially zoned or residentially used property.

As proposed, the subject property will be used for storing and warehousing equipment and two emergency vehicles. When a member of the organization receives an emergency call, the technician will arrive at the building and respond to the call in the ambulance stored at the site. The Petitioner indicates that the property is improved with an overhead garage door for easy access into and out of the building.

Below is an excerpt from the Village's GIS to show the proximity of the subject property to a residentially used property. This proximity of uses triggers the requirement for a Special Use.



6430 North Hamlin Avenue and Proximity to Residential Property

Previous Consideration: In spring 2015, Hatzalah filed for Special Use approval to operate 24 hours a day within 150 feet of a residentially zoned or residentially used property. Their request was heard by the Plan Commission at the March 4, 2015 meeting (minutes attached). The Plan Commission received testimony from the Petitioner who provided greater detail on the operation of the not-for profit business. Hatzalah stated that the organization is staffed by volunteers who respond to an emergency call placed directly to a dispatcher who forwards the call to both a Hatzalah technician and 911. The response time to a call is typically 3-4 minutes, and that there are approximately 40 volunteers spread throughout the communities served which include Skokie, Lincolnwood, and Chicago. On average, Hatzalah responds to two calls during the day and approximately two calls a week during overnight hours. Hatzalah agreed to not operate the sirens on the ambulance within 150 feet of the residential property at Hamlin Avenue and Devon Avenue.

The Plan Commission discussed available parking at the property. Hatzalah representatives indicated that they do not anticipate more than two to four vehicles at the property at any one time and that the two Hatzalah ambulances will be stored within the building. The Commission asked if a bunkhouse was planned for the facility. Staff noted that a bunkhouse was not permitted under the current Zoning Code. Hatzalah stated that they have no plans for a bunkhouse. Other than testimony by the applicant's team, no other person provided comment or testified on this matter at the public hearing.

The Plan Commission, by a 6-0 vote, forwarded to the Village Board a recommendation to approve the requested Special Use to permit Hatzalah to operate 24 hours a day at 6430 North Hamlin Avenue. The Village Board concurred with the Plan Commission's recommendation, and Hatzalah's request was approved via Special Use Ordinance No. 2015-3151 in April 2015.

That Special Use approval, however, has expired as a result of Hatzalah not being in operation at 6430 North Hamlin Avenue within six months of the Special Use approval. Hatzalah remains desirous of operating at the 6430 North Hamlin Avenue location and because of the previous approval expiration, a new Special Use approval is necessary.

Relevant Village Action

A search of Village records reveals that several Special Uses have been approved by the Village dating back to 1992.

- 4368 West Touhy Avenue – Coffee Shop to open at 5:30 a.m. Monday through Friday
- 3950 West Devon Avenue – Drug Store open 24 hours a day
- 6599 North Lincoln Avenue – Gas Station open 24 hours a day for a period of one year
- 6801 North Cicero Avenue – Gas Station to open at 5:30 a.m.
- 6829 North Lincoln Avenue – Kinko’s to open 24 hours a day
- 6829 North Lincoln Avenue – Video store to be open until midnight
- 7225 North Cicero Avenue – Automobile dealership to open at 6:00 a.m.
- 6850 McCormick Boulevard – Grocery store to open at 6:00 a.m.
- 3946 West Devon Avenue – Ice cream/candy shop to be open 24 hours a day for a period of one year

Conclusion

Hatzalah Chicago seeks to operate an emergency medical services response business out of the subject property at 6430 North Hamlin Avenue. In order to operate 24 hours a day, as proposed, the Petitioner must first receive Special Use approval as the subject property is within 150 feet of a residentially used and zoned property. No other relief is required.

No inquiries were received and no written comments were submitted relative to this request.

Documents Attached

1. Ordinance No. 2015-3151
2. March 4, 2015 Plan Commission Minutes Excerpt
3. Special Use Public Hearing Application
4. Project Description
5. Title Commitment
6. Plat of Survey



Doc#: 1512544020 Fee: \$52.00
Karen A. Yarbrough
Cook County Recorder of Deeds
Date: 05/05/2015 10:51 AM Pg: 1 of 8

THIS SPACE FOR RECORDERS USE ONLY

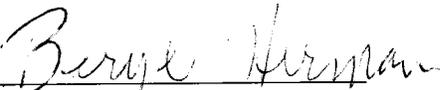
VILLAGE OF LINCOLNWOOD

ORDINANCE NO. 2015-3151

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR
THE OPERATION OF A 24-HOUR EMERGENCY MEDICAL SERVICE BUSINESS**
(6430 North Hamlin Avenue)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LINCOLNWOOD
THIS 7th DAY OF APRIL, 2015.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Lincolnwood,
Cook County, Illinois this
7th day of April, 2015


Village Clerk



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**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR
THE OPERATION OF A 24-HOUR EMERGENCY MEDICAL SERVICE BUSINESS**
(6430 North Hamlin Avenue)

WHEREAS, 6420 Hamlin, LLC ("**Owner**") is the record title owner of that certain property located in the M-B Light Manufacturing/Business District ("**M-B District**"), commonly known as 6430 North Hamlin Avenue, and legally described in **Exhibit A** attached to and, by this reference, made a part of this Ordinance ("**Property**"); and

WHEREAS, the Property is located within 150 feet of another property that is zoned and used for residential purposes; and

WHEREAS, Hatzalah Chicago ("**Applicant**") now desires to lease the Property from the Owner and to operate a 24-hour emergency medical service business on the Property ("**Proposed Business**"); and

WHEREAS, pursuant to Section 4.08(4) of "the Village of Lincolnwood Zoning Ordinance" as amended ("**Zoning Ordinance**"), businesses located in the M-B District and within 150 feet of another property zoned or used for residential purposes may not be operated before 7:00 a.m. or after 11:00 p.m. on any day, except upon issuance of a special use permit by the Village Board of Trustees; and

WHEREAS, the Applicant, with the consent of the Owner, has filed an application for a special use permit to allow the 24-hour operation of the Proposed Business on the Property ("**Requested Special Use Permit**"); and

WHEREAS, a public hearing of the Plan Commission of the Village of Lincolnwood to consider approval of the Requested Special Use Permit was duly advertised in the *Lincolnwood Review* on February 12, 2015 and held on March 4, 2015; and

WHEREAS, on March 4, 2015, the Plan Commission made findings and recommendations in support of the Requested Special Use Permit, subject to specified conditions; and

WHEREAS, the Village President and Board of Trustees have determined that the Requested Special Use Permit meets the required standards for special use permits as set forth in Article V of the Zoning Ordinance; and

WHEREAS, the Village President and Board of Trustees have determined that it will serve and be in the best interests of the Village to grant the Requested Special Use Permit, subject to the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. APPROVAL OF SPECIAL USE PERMIT. In accordance with, and pursuant to, Article V of the Zoning Ordinance and the home rule powers of the Village, and subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 3 of this Ordinance, the Village President and Board of Trustees hereby grant a special use permit to the Applicant to allow the 24-hour operation of an emergency medical service business on the Property.

SECTION 3. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Ordinance, the approval granted pursuant to Section 2 of this Ordinance is hereby expressly subject to, and contingent upon, the development, use, and maintenance of the Property in compliance with each and all of the following conditions:

- A. Compliance with Regulations. Except to the extent specifically provided otherwise in this Ordinance, the development, use, operation, and maintenance of the Property must comply at all times with all applicable Village codes and ordinances, as the same have been or may be amended from time to time.
- B. Reimbursement of Village Costs. In addition to any other costs, payments, fees, charges, contributions, or dedications required under applicable Village codes, ordinances, resolutions, rules, or regulations, the Applicant must pay to the Village, promptly upon presentation of a written demand or demands therefor, all legal fees, costs, and expenses incurred or accrued in connection with the review, negotiation, preparation, consideration, and review of this Ordinance. Payment of all such fees, costs, and expenses for which demand has been made must be made by a certified or cashier's check. Further, the Applicant will be liable for, and must pay upon demand, all costs incurred by the Village for publications and recordings required in connection with the aforesaid matters.

SECTION 4. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded with the Cook County Recorder of Deeds. This Ordinance and the privileges, obligations, and provisions contained herein will inure solely to the benefit of, and be binding upon, the Owner, the Applicant, and each of their heirs, representatives, successors, and assigns.

SECTION 5. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Owner or the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, as applicable, the approval granted in Section 2 of this Ordinance will, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approval granted in Section 2 of this Ordinance unless they first provide the Owner and the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of revocation, the development and use of the Property will be governed solely by the regulations of the M-B District and the applicable

provisions of the Zoning Ordinance, as the same may, from time to time, be amended. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances.

SECTION 6. AMENDMENTS. Any amendments to the approval granted in Section 2 of this Ordinance that may be requested by the Owner or the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance.

SECTION 7. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance will remain in full force and effect, and will be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 8. EFFECTIVE DATE.

- A. This Ordinance will be effective only upon the occurrence of all of the following events:
1. Passage by the Village President and Board of Trustees in the manner required by law;
 2. Publication in pamphlet form in the manner required by law; and
 3. The filing by the Owner and the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of **Exhibit B** attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance; and
- B. In the event the Owner or the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 8.A.3 of this Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in its sole discretion, to declare this Ordinance null and void and of no force or effect.

[SIGNATURE PAGE FOLLOWS]

PASSED this 7th day of April, 2015.

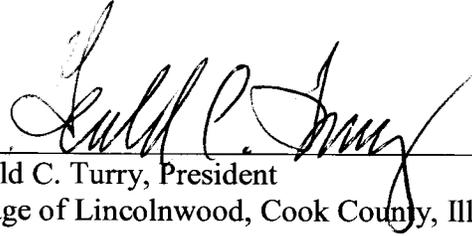
AYES: Trustees Cope, Elster, Klatzco, Leftakes

NAYS: None

ABSENT: Trustees Patel, Sprogis-Marohn

ABSTENTION: None

APPROVED by me this 7th day of April, 2015.



Gerald C. Turry, President
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
7th day of April, 2015



Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

#35060031_v1

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

THAT PART OF LOTS 3 AND 4 IN FREDERICK W. SHEFTE'S SUBDIVISION OF LOT 12 IN JOHN PROESEL ESTATE PARTITION BEING A SUBDIVISION OF THE SOUTH ½ OF THE SOUTHWEST ¼ OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

NOTE; THE SOUTH LINE OF LOT 4 IS ASSUMED "DUE EAST-WEST" FOR THE FOLLOWING COURSES

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF AN EXISTING 12 STORY BRICK BUILDING (WHOSE SOUTH WALL IS 0.43 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF AFORESAID LOT 4) EXTENDED EAST TO THE EAST LINE OF AFORESAID LOT 4 FOR THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND:

THENCE DUE WEST, IN AFORESAID SOUTH LINE OF 1 STORY BRICK BUILDING AND ITS EXTENSION EAST, A DISTANCE OF 150.13 FEET TO THE SOUTHWEST CORNER OF THIS BRICK BUILDING; THENCE NORTH 0 DEGREES 06 MINUTES WEST BEING ALONG THE WEST FACE OF AFORESAID 1 STORY BRICK BUILDING, 70.00 FEET TO THE NORTHWEST CORNER OF SAID BUILDING; THENCE DUE EAST ALONG THE NORTH FACE OF SAID BUILDING 7.20 FEET TO THE WEST FACE OF ANOTHER EXISTING 1 STORY BRICK BUILDING; THENCE DUE NORTH ALONG SAID LINE, 100.60 FEET TO THE SOUTH LINE OF SAID LOT 3; THENCE DUE WEST ON SAID LINE, 78.43 FEET TO THE EAST FACE OF AN EXISTING FENCE; THENCE NORTH 01 DEGREE 14 MINUTES 40 SECONDS EAST ALONG AFORESAID EXISTING FENCE, BEING PARALLEL WITH THE EAST LINE OF SAID LOTS 3 AND 4, 92.90 FEET TO A POINT IN A LINE THAT IS 15 FEET SOUTH, BY RIGHT ANGLE MEASURE, OF AND PARALLEL WITH THE NORTH LINE OF SAID LOT 3; (BEING A POINT IN THE SOUTH LINE OF A 15 FOOT EASEMENT AS PER DOCUMENT NUMBER 19635472) THENCE DUE EAST ON LAST DESCRIBED LINE, 225.22 FEET TO THE SAID EAST LINE OF SAID LOT 3; THENCE SOUTH 1 DEGREE 14 MINUTES 40 SECONDS WEST, ALONG THE EAST LINE OF SAID LOTS, 236.54 FEET TO THE PLACE OF BEGINNING

Commonly known as: 6430 North Hamlin Avenue, Lincolnwood, Illinois

P.I.N.: 10-35-325-024-0000

EXHIBIT B

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Lincolnwood, Illinois ("*Village*");

WHEREAS, 6420 Hamlin, LLC ("*Owner*") is the record title owner of that certain property located in the M-B Light Manufacturing/Business District ("*M-B District*"), commonly known as 6430 North Hamlin Avenue, in the Village ("*Property*"); and

WHEREAS, Ordinance No. Z2015-3151, adopted by the Village President and Board of Trustees on April 7, 2015 ("*Ordinance*"), grants a special use permit to Hatzalah Chicago ("*Applicant*") in connection with the 24-hour operation of an emergency medical service business on the Property; and

WHEREAS, Section 8 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Owner and the Applicant files, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Owner and Applicant do hereby agree and covenant as follows:

1. The Owner and the Applicant hereby unconditionally agree to accept, consent to, and abide by each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.
2. The Owner and the Applicant acknowledge that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Owner and the Applicant acknowledge and agree that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of the special use permit for the Property or its adoption of the Ordinance, and that the Village's approvals do not, and will not, in any way, be deemed to insure the Owner or the Applicant against damage or injury of any kind and at any time.

4. The Owner and the Applicant hereby agree to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Ordinance granting the special use permit for the Property.

Dated: 4/1, 2015

ATTEST:

By: 
Its: MANAFA

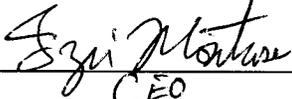
6420 HAMLIN, LLC

By: 
Its: MANAFA

ATTEST:

By: 
Its: COO

HATZALAH CHICAGO

By: 
Its: CEO

Motion to approve the February 25, 2015 Workshop Meeting Minutes was made by Commissioner Yohanna, and seconded by Commissioner Fishman as amended.

Aye: Yohanna, Fishman, Pauletto, and Eisterhold

Nay: None

Motion Approved: 4-0

IV. Case #PC-03-15: Public Hearing: 6430 North Hamlin Avenue – Special Use

Chairman Eisterhold swore in the Petitioners, Mr. Ira Piltz, Mr. Craig Frank, Mr. Simzha Frank, and Mr. Ari Shulman.

Mr. Cook presented the Special Use request for Hatzalah Chicago located at 6430 North Hamlin Avenue in the M-B Manufacturing/Business District. Hatzalah Chicago provides emergency medical response services. The property will be used to store and warehouse their ambulance equipment. Hatzalah Chicago seeks a Special Use to operate 24 hours a day. The Zoning Code requires a Special Use for any business operating before 7:00 a.m. and/or after 11:00 p.m. within 150 feet of a residentially zoned property. Staff was able to find nine Special Use requests pertaining to hours of operation since 1992.

Commissioner Yohanna asked if any letters were received for or against this Special Use request. Mr. Cook replied there were none.

Mr. Piltz, counsel for Hatzalah Chicago, stated that the entire operation is staffed by volunteers. The company is a duly registered nonprofit entity in the state of Illinois. Hatzalah provides rapid medical response services to residents of Lincolnwood, Skokie, and Chicago.

Mr. Simzha Frank stated that there will only be a couple of dispatchers at the facility. When a call is received, they arrive at the facility and respond via ambulance. There will be two ambulances at this facility, and no maintenance will be performed there. No sirens will be operated within 150 feet of the residential area.

When asked about their response time, Mr. Ari Shulman responded that their emergency medical technicians can be there 3-4 minutes before a responding 911 ambulance. They work in conjunction with 911 and are hooked up with their systems to relay information.

Mr. Simzha Frank additionally stated that their response time is 2-3 minutes. They have about 40 volunteers spread out among the three communities. All responding personnel are licensed EMTs. With regards to call volume, Mr. Frank responded that they average two calls a days during normal business hours, and approximately two calls a week during the overnight hours.

Chairman Eisterhold asked staff that if they decided to turn the facility into a bunkhouse, would that change the Special Use. Mr. Cook answered that a text amendment would be required. This use is categorized as indoor warehousing/storage. Any changes would require another Special Use. Mr. Piltz said that they have no plans to do that.

With regards to parking, they have 31 spaces available. They do not see more than two to four cars there at any one time.

Chairman Goldfein asked Mr. Piltz to explain their business practice. Mr. Piltz replied that a call is made to a dispatcher, which is then forwarded to a Hatzalah technician as well as the appropriate 911 service. Hatzalah is a private company and do not compete with 911. Mr. Frank explained that they are called directly due to quicker response times, religious reasons, especially on the Sabbath or holidays, or to transport to other hospital where medically appropriate. Their primary hospitals include Evanston Hospital, Skokie Hospital, and Northwestern Memorial Hospital.

Chairman Eisterhold asked if anyone in the audience would like to address the Plan Commission regarding this Public Hearing. Let the record show that no one came forward.

Motion to approve the Special Use request for an emergency medical facility service business at 6430 North Hamlin Avenue to operate 24 hours a day was made by Commissioner Pauletto, and seconded by Commissioner Fishman.

Aye: Pauletto, Fishman, Goldfein, Jakubowski, Yohanna, and Eisterhold

Nay: None

Motion Approved: 6-0

V. Case #PC-04-15: Public Hearing: Proposed Text Amendment

This Public Hearing is to approve the elimination of Section 7.11 and 7.12 of the Zoning Code in its entirety relating to the parking and storage of commercial and recreational vehicles. This matter has been discussed by different committees and commissions dating back to October 2013 with the Traffic Commission requesting the restrictions on boats, boat trailers, recreational vehicles, snowmobiles, livery vehicles and commercial vehicles on all residential streets and driveways.

Consequently, the question of how to regulate such vehicles was referred to the Plan Commission from the Committee of the Whole for a Public Hearing to eliminate these standards from the Zoning Code. This referral is not for the purpose of eliminating these regulations on commercial vehicles in its entirety, but rather to simply house all of the governing regulations in one place in the Municipal Code instead of having regulations in both the Municipal Code and Zoning Code. These regulations will cover both public and private parking.

When asked about the current standards already in place with regard to commercial or recreational vehicle parking, Mr. Cook answered that these are the standards that are being revisited with regard to commercial and recreational vehicles. Additionally, Commissioner Fishman said that these standards need to be enforced, otherwise they are meaningless.

All rules and regulations are under review relative to commercial and recreational vehicles. There have been no final determination; this is just a review. The only determination is that these standards should be placed in one area of the Municipal Code. While under review, they can be removed from the Zoning Code and moved to its new location. The verbiage will be the same until it is eliminated or changed. The Municipal Code is under the purview of the Village Board. Tonight's action gives the Village Board the authority to act on removing these Sections from the Zoning Code.

The Commissioners discussed the importance that there be no gaps in coverage of Section 7.11 and 7.12 until such time that the Village Board adopts the appropriate language.



VILLAGE OF LINCOLNWOOD Public Hearing Application
Community Development Department Special Use and PUD

SUBJECT PROPERTY

Property Address: 6430 N. Hamlin, Lincolnwood, IL 60712

Permanent Real Estate Index Number(s): 10-35-325-024-0000

Zoning District: MB Lot Area: Lot 12 - John Proesel Estate Partition (see attached)

List all existing structures on the property. Include fencing, sheds, garages, pools, etc.
Single story manufacturing/warehouse building (9,461 sq. ft) sitting approx 12,000 sq.ft with 15 assigned parking spaces

Are there existing development restrictions affecting the property? Yes X No
(Examples: previous Variations, conditions, easements, covenants) If yes, describe: _____

REQUESTED ACTION

- | | |
|---|---|
| <input type="checkbox"/> Special Use - Residential | <input type="checkbox"/> Planned Unit Development (PUD) |
| <input checked="" type="checkbox"/> Special Use - Non-Residential | <input type="checkbox"/> Other |

PROJECT DESCRIPTION

Describe the Request and Project: See attached.

PROPERTY OWNER/PETITIONER INFORMATION

Property Owner(s): (List all Beneficiaries if Trust)

Name: Special Assets Acquisitions, LLC

Address: 7370 N. Cicero Ave, Lincolnwood, IL 60712

Telephone: (847) 675-8700 Fax: (847) 675-8704 E-mail: Info@Specialassets.com

Petitioner: (if Different from Owner)

Name: Tzvi Montrose Relationship to Property: Buyer

Address: 8170 McCormick Blvd, Suite 96, Skokie IL 60076

Telephone: (847) 454-0800 Fax: (847) 324-4577 E-mail: Info@HatzalahChicago.org

REQUIRED ATTACHMENTS *

Check all Documents that are Attached:

Plat of Survey	<u>Sent Previously</u>	Applicable Zoning Worksheet	_____
Site Plan	_____	Photos of the Property	_____
Proof of Ownership	<u>Sent Previously</u>	PDF Files of all Drawings	_____
Floor Plans	_____	Elevations	_____

*The above documents are required for all applications. The Zoning Officer may release an applicant from specific required documents or may require additional documents as deemed necessary.

COST REIMBURSEMENT REQUIREMENT

The Village requires reimbursement of certain out-of-pocket costs incurred by the Village in connection with applications for zoning approvals and relief. These costs include, but are not limited to, mailing costs, attorney and engineer costs, and other out-of-pocket costs incurred by the Village in connection with this application. In accordance with Section 5.02 of the Village of Lincolnwood Zoning Ordinance, both the petitioner and the property owner shall be jointly and severally liable for the payment of such out-of-pocket costs. Out-of-pocket costs incurred shall be first applied against any hearing deposit held by the Village, with any additional sums incurred to be billed at the conclusion of the hearing process.

Invoices in connection with this application shall be directed to:

Name: Hatzalah Chicago - c/o Tzvi Montrose
Address: P.O. Box 59816
City, State, Zip: Chicago, IL 60659

ATTESTMENT AND SIGNATURE

I hereby state that I have read and understand the Village cost reimbursement requirement, as well as the requirements and procedures outlined in Article V of the Village Zoning Ordinance, and I agree to reimburse the Village within 30 days after receipt of an invoice therefor. I further attest that all statements and information provided in this application are true and correct to the best of my knowledge and that I have vested in me the authority to execute this application.

PROPERTY OWNER:

PETITIONER: *(if Different than Property Owner)*

Ari Shulman
Signature

Tzvi Montrose
Signature

Special Assets LLC
Print Name

Tzvi Montrose
Print Name

07/01/2016
Date

07/01/2016
Date

SPECIAL USE STANDARDS

To be approved, each Special Use request must meet certain specific standards. These standards are listed below. After each listed standard, explain how the Special Use request satisfies the listed standard. Use additional paper if necessary.

1. Please explain how the Special Use is necessary for the public convenience at this location and the subject property is deemed suitable for the use. (Please explain in detail)

The public convenience will be served by having ambulances capable of providing care to residents of Lincolnwood (and surrounding areas) with timely medical care on an emergency basis by housing fully equipped ambulances.

The subject is suitable as it has a garage bay and ample space for the ambulances and equipment.

2. Please explain how the Special Use is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected.

All personnel involved in the operating are properly trained to operate the ambulances in a proper and professional fashion thus ensuring that the public will not be harmed by the operation of the ambulances. All traffic laws will be followed and all ambulances are equipped with safety devices to ensure their safe operation.

3. Please explain how this Special Use would not cause substantial injury to the value of other property in the neighborhood in which it is located.

The are in question is a neighborhood designed for ingress and egress of commercial vehicles. Thus it is an ideal location for these ambulances.

SPECIAL USE STANDARDS (Continued)

4. The Special Use is consistent with the goals and policies of the Comprehensive Plan.

Agreed. The Special Use being requested is for use between 11pm and 7am. At the point the ambulances leave the garage no siren will be activated until a major throughfare is reached, unless necessary for the safety of the public or operator.

5. The Special Use would not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the underlying Zoning District.

Agreed. The ambulances will operate on on existing roadways.

6. Please explain how the Special Use is so designed to provide adequate utilities, access roads, drainage, or necessary facilities.

This is not an issue. The subject property is adequate for the intended purposes of the organization and the existing roadways are more than adequate for the organizations purposes.

7. Please explain how the Special Use is so designed to provide ingress and egress to minimize traffic congestion on public streets.

The Special Use being requested is for the time when there is little to no traffic in the area. There should be no effect on existing traffic, other than the need for vehicles moving aside if an ambulance is in emergency mode. Further, the property is designed for ingress and egress.

Hatzalah Chicago
Project Description

Hatzalah Chicago is a non for profit organization providing emergency medical services to Lincolnwood, Skokie and surrounding areas. The project in question involves the purchase of a building located at 6430 N. Hamlin, Lincolnwood, Illinois, which will be utilized for storing and warehousing equipment and two emergency vehicles.

Hatzalah Chicago requests a special use permit to allow use of the building, between the hours of 11pm and 7am, when there is a need to respond to an emergency call. The use will involve a member Emergency Technician arriving at the building and leaving in an emergency vehicle. The vehicle will then be returned to the building at the completion of the call.

There will be no routine maintenance or other commercial activity being conducted during the hours of 11pm and 7am. At all other times, all routine maintenance and other commercial activity will only be performed in conjunction with applicable zoning guidelines and per all applicable regulations.

CHICAGO TITLE INSURANCE COMPANY
COMMITMENT FOR TITLE INSURANCE
SCHEDULE A (CONTINUED)

ORDER NO.: 1401 SA3807006 D1

5. THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

THAT PART OF LOTS 3 AND 4 IN FREDERICK W. SHEPPE'S SUBDIVISION OF LOT 12 IN JOHN PROESEL ESTATE PARTITION BEING A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

NOTE: THE SOUTH LINE OF LOT 4 IS ASSUMED "DUE EAST-WEST" FOR THE FOLLOWING COURSES

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF AN EXISTING 1 STORY BRICK BUILDING (WHOSE SOUTH WALL IS 0.43 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF AFORESAID LOT 4) EXTENDED EAST TO THE EAST LINE OF AFORESAID LOT 4 FOR THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND;

THENCE DUE WEST, IN AFORESAID SOUTH LINE OF 1 STORY BRICK BUILDING AND ITS EXTENSION EAST, A DISTANCE OF 150.13 FEET TO THE SOUTHWEST CORNER OF THIS BRICK BUILDING; THENCE NORTH 0 DEGREES 08 MINUTES WEST BEING ALONG THE WEST FACE OF AFORESAID 1 STORY BRICK BUILDING, 70.00 FEET TO THE NORTHWEST CORNER OF SAID BUILDING; THENCE DUE EAST ALONG THE NORTH FACE OF SAID BUILDING 7.20 FEET TO THE WEST FACE OF ANOTHER EXISTING 1 STORY BRICK BUILDING; THENCE DUE NORTH ALONG SAID LINE, 100.60 FEET TO THE SOUTH LINE OF SAID LOT 3; THENCE DUE WEST ON SAID LINE, 78.43 FEET TO THE EAST FACE OF AN EXISTING FENCE; THENCE NORTH 01 DEGREE 14 MINUTES 40 SECONDS EAST ALONG AFORESAID EXISTING FENCE, BEING PARALLEL WITH THE EAST LINE OF SAID LOTS 3 AND 4, 92.96 FEET TO A POINT IN A LINE THAT IS 15 FEET SOUTH, BY RIGHT ANGLE MEASURE, OF AND PARALLEL WITH THE NORTH LINE OF SAID LOT 3; (BEING A POINT IN THE SOUTH LINE OF A 15 FOOT EASEMENT AS PER DOCUMENT NUMBER 19635472) THENCE DUE EAST ON LAST DESCRIBED LINE, 225.22 FEET TO THE SAID EAST LINE OF SAID LOT 3; THENCE SOUTH 1 DEGREE 14 MINUTES 40 SECONDS WEST, ALONG THE EAST LINE OF SAID LOTS, 263.54 FEET TO THE PLACE OF BEGINNING

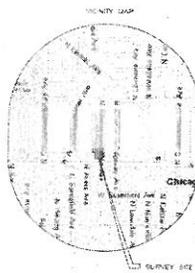
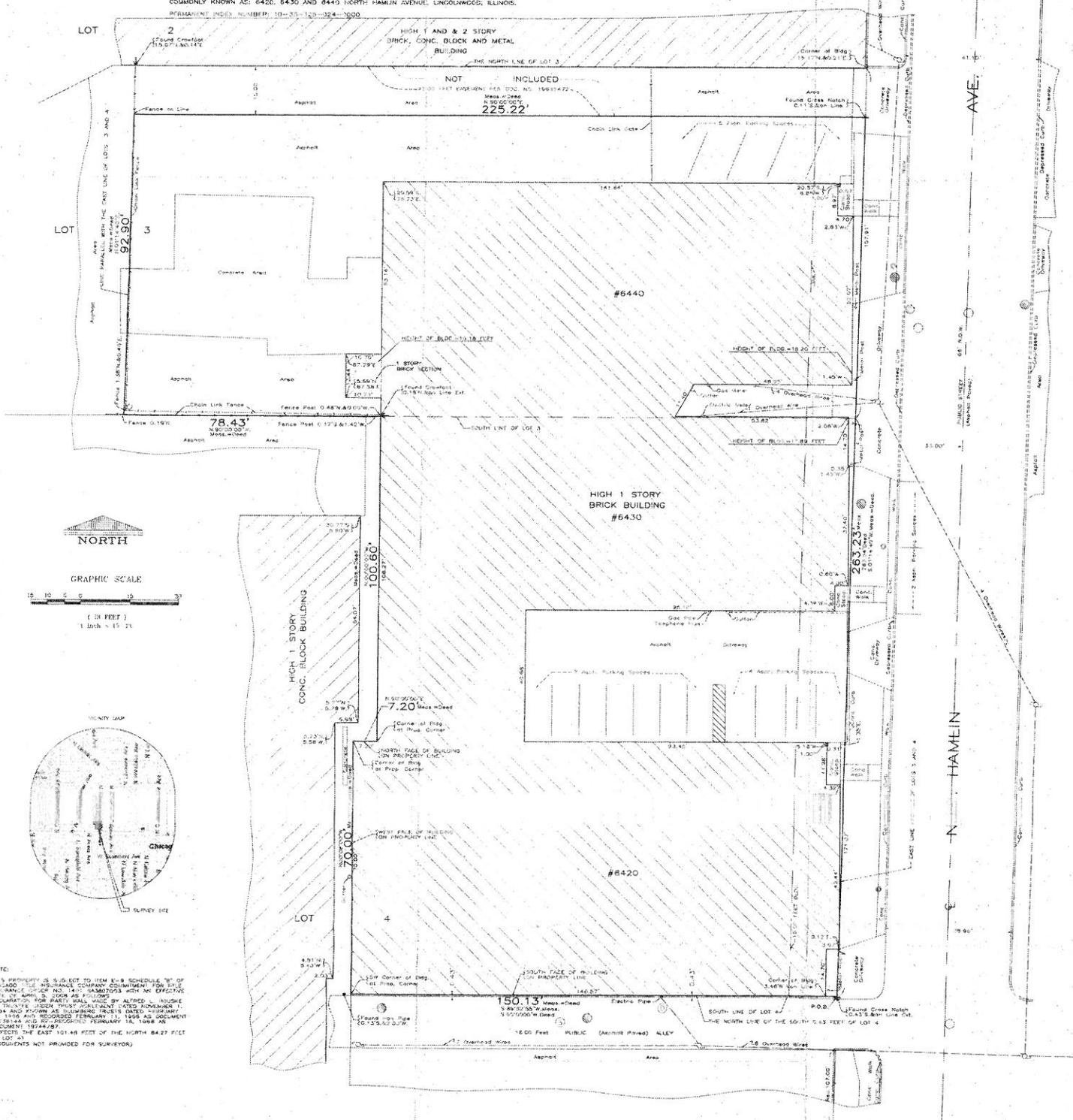
ALTA/ACSM LAND TITLE SURVEY

THAT PART OF LOTS 3 AND 4 IN FREDERICK W. SHEPHERD'S SUBDIVISION OF LOT 12 IN JOHN PROKSEL ESTATE PARTITION BEING A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

NOTE: THE SOUTH LINE OF LOT 4 IS ASSUMED "DUE EAST-WEST" FOR THE FOLLOWING COURSES

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF AN EXISTING 1 STORY BRICK BUILDING (WHOSE SOUTH WALL IS 0.43 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF APPLICABLE LOT 4) EXTENDED EAST TO THE EAST LINE OF APPLICABLE LOT 4 FOR THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE DUE WEST IN APPLICABLE SOUTH LINE OF 1 STORY BRICK BUILDING AND ITS EXTENSION FACIL A DISTANCE OF 159.11 FEET TO THE SOUTHWEST CORNER OF SAID BUILDING; THENCE NORTH 00 DEGREES 00 MINUTES WEST BEING ALONG THE WEST FACE OF APPLICABLE 1 STORY BRICK BUILDING 70.00 FEET TO THE SOUTHWEST CORNER OF SAID BUILDING; THENCE DUE EAST ALONG THE NORTH FACE OF SAID BUILDING 100.60 FEET TO THE WEST FACE OF AN EXISTING FENCE; THENCE NORTH 00 DEGREES 00 MINUTES WEST BEING ALONG THE WEST FACE OF SAID FENCE 100.60 FEET TO THE SOUTH LINE OF SAID LOT 3; THENCE DUE WEST ON SAID LINE 78.43 FEET TO THE EAST FACE OF AN EXISTING FENCE; THENCE NORTH 00 DEGREES 00 MINUTES WEST BEING ALONG THE WEST FACE OF SAID FENCE 40 SECONDS EAST ALONG AN EXISTING FENCE BEING PARALLEL WITH THE EAST LINE OF SAID LOTS 3 AND 4; 52.30 FEET TO A POINT IN A LINE THAT IS 15 FEET SOUTH OF THE RIGHT ANGLE MEASURE ON AND PARALLEL WITH THE NORTH LINE OF SAID LOT 3; (USING A POINT IN THE SOUTH LINE OF A 15 FOOT EASEMENT AS PER DOCUMENT NUMBER 1963872); THENCE DUE EAST ON SAID SOUTH LINE RIGHT ANGLE TO THE SAID EAST LINE OF SAID LOT 3; THENCE SOUTH 1 DEGREE 14 MINUTES 40 SECONDS WEST, ALONG THE EAST LINE OF SAID LOTS, 282.94 FEET TO THE PLACE OF BEGINNING. ALL IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA 48,119.365 SQ. FT. = 1.098 ACRES
 EXTERIOR FOOT PRINT AREA OF BUILDING 21,046.810 SQ. FT.
 COMMONLY KNOWN AS: 6420, 6430 AND 6440 NORTH HAMLIN AVENUE, LINCOLNWOOD, ILLINOIS.
 PERMANENT INDEX NUMBER: 10-35-125-324-3000



NOTE:
 THIS PROPERTY IS SUBJECT TO ITEM E-9 SCHEDULE "B" OF CHICAGO TITLE INSURANCE COMPANY'S COMMITMENT FOR THE CHICAGO TITLE INSURANCE COMPANY'S POLICY NO. 141-1480764 WITH AN EFFECTIVE DATE OF 01/01/2008. THIS COMMITMENT IS SUBJECT TO THE DECLARATION FOR PARTIAL WAIVER MADE BY ALBERT L. ROUSSEAU, PRESIDENT OF CHICAGO TITLE INSURANCE COMPANY, DATED NOVEMBER 1, 1994 AND KNOWN AS "BURNING TRUSTS" DATED FEBRUARY 10, 1998 AND RECORDED FEBRUARY 11, 1998 AS DOCUMENT 1974487.
 THE EAST 101.48 FEET OF THE NORTH 84.27 FOOT OF LOT 1.
 (DOCUMENTS NOT PROVIDED FOR SURVEYOR)

REVISED: April 14, 2008 (Certify Names added)
 THE LEGAL DESCRIPTION SHOWN ON THIS PLAN WERE DRAWN IN A COPY OF THE INSTRUMENT AND THE ACCURACY SHOULD BE COMPARED WITH THE TITLE OF DEED.
 DIMENSIONS ARE NOT TO BE INFERRED FROM SCALE.
 ORDER NO. DP-79824
 SCALE: 1" = 15'-0" FEET
 DATE: MARCH 26, 2008
 ORDERED BY: Holtmark & Johnson
 ATTORNEYS AT LAW

- LEGEND:
- - SOLITARY MANHOLE
 - - STORM MANHOLE
 - - CATCH BASIN
 - - MANHOLE
 - - UTILITY POLE
 - - LIGHT POLE
 - - WATER METER



THE ENGINEER HAS HEREBY CERTIFIED TO TERRIS, INC., CHICAGO TITLE INSURANCE COMPANY, FREDERICK TRANK AND PAUL HANDEL, L.L.O. THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "STANDARD" STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS' JOINTS ESTABLISHED AND ADOPTED BY AIA AND ASPI IN 1998 AND MODIFIED THEREAFTER TO THE EXTENT OF THE CHICAGO TITLE INSURANCE COMPANY'S POLICY NO. 141-1480764. I HAVE NOT BEEN ADVISED OF ANY CHANGES TO THE STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS' JOINTS ESTABLISHED AND ADOPTED BY AIA AND ASPI IN 1998 AND MODIFIED THEREAFTER. I AM NOT PROVIDING ANY GUARANTEE OF THE ACCURACY OF THIS SURVEY DOES NOT EXCEED THE ALIABLE LIMITS SPECIFIED THEREON.
 DATE: April 14, 2008
 Wayne W. Donohue
 LICENSE PROFESSIONAL ENGINEER, STATE OF ILLINOIS, NO. 124122, EXPIRES NOVEMBER 30, 2008
 DP-79824 JV

Request For Board Action

REFERRED TO BOARD: September 6, 2016

AGENDA ITEM NO: 3

ORIGINATING DEPARTMENT: Community Development

SUBJECT: Approval of a Resolution Approving a Plat of Vacation and Grant of Easement for the Carrington at Lincolnwood, located at 3401-3501 Northeast Parkway (formerly the Bell & Howell site with an address of 3400 Pratt Avenue)

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

South Bay Partners of Dallas Texas has begun construction on the 383-unit Carrington at Lincolnwood senior living facility at 3401-3501 Northeast Parkway. This property is located in the Village's MB Light Manufacturing/Business Zoning District, and the project under construction received a Special use Permit and all Village Zoning approvals in November, 2015.

The approved Engineering plans for the site depict removal of a long-ago abandoned water main traversing the site, and the addition of a new water main. The old water main has been removed and the property owner now requests to vacate the old easement and grant a new utility easement for the new water main to be installed. The Village Engineer has reviewed the attached Plat of Easement Grant & Vacation and has recommended approval, with no conditions. In order to close their construction loan, and continue proceeding forward with construction on the site, the property owner is seeking Village approval at Tuesday night's meeting.

Attached for consideration is a Resolution prepared by the Village Attorney, and the Plat of Easement Grant & Vacation.

FINANCIAL IMPACT:

None

DOCUMENTS ATTACHED:

1. Proposed Resolution

RECOMMENDED MOTION:

Move to approve a Resolution approving a Plat of Vacation and Grant of Easement for the Carrington at Lincolnwood, located at 3401-3501 Northeast Parkway.

VILLAGE OF LINCOLNWOOD

RESOLUTION NO. R2016-_____

A RESOLUTION APPROVING A PLAT OF VACATION AND GRANT OF EASEMENT

(3401-3501 Northeast Parkway)

WHEREAS, SBLP Lincolnwood, LLC ("**Owner**") is the record title owner of that certain property located at the address commonly known as 3401-3501 Northeast Parkway, Lincolnwood, Illinois, and legally described in Exhibit A attached to and, by this reference, made a part of this Ordinance ("**Property**"); and

WHEREAS, the Owner is currently developing, and intends to operate, a senior citizen assisted living and independent living facility on the Property ("**Proposed Facility**"); and

WHEREAS, a prior owner of the Property recorded against the Property a 10-foot-wide utility easement for the benefit of the Village and other third parties ("**Existing Easement**"), which Existing Easement traverses the center of the Property; and

WHEREAS, in order to complete the development of the Proposed Facility, the Owner desires to vacate the Existing Easement, and grant to the Village a new 10-foot-wide utility easement, to be located around the perimeter of the location of the Proposed Facility ("**New Easement**"), all as depicted in that certain Plat of Easement Grant & Vacation attached to, and by this reference made a part of, this Resolution as **Exhibit A** ("**Plat of Easement**"); and

WHEREAS, the Village President and Board of Trustees have determined that it will serve and be in the best interest of the Village and its residents to approve the Plat of Easement;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

SECTION 2. APPROVAL OF PLAT. The Village President and Board of Trustees hereby consent to the vacation of the Existing Easement, accept the grant of the New Easement, and approve the Plat of Easement.

SECTION 3. EXECUTION OF PLAT. The Village President and the Village Clerk are hereby authorized and directed to execute and seal, on behalf of the Village, the Plat of Easement.

SECTION 4. EFFECTIVE DATE. This Resolution will be in full force and effect from and after its passage and approval as provided by law.

[SIGNATURE PAGE FOLLOWS]

PASSED this ___ day of _____, 20__.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTENTION: _____

APPROVED by me this _____ day of _____, 20__.

Lawrence Elster, President Pro Tem
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
_____ day of _____, 20__

Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

#47864731_v1

EXHIBIT A

PLAT OF EASEMENT

PLAT OF EASEMENT GRANT & VACATION

PROPERTY DESCRIPTION:

PARCEL 1:
 LOT IN BELL AND HOWELL SUBDIVISION BEING A SUBDIVISION IN THE
 NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13
 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT
 THEREOF RECORDED SEPTEMBER 26, 2001 AS DOCUMENT 0010897333, IN
 COOK COUNTY, ILLINOIS.

PARCEL 2:
 A TRACT OF LAND BEING PART OF THE SOUTH 1/2 OF THE SOUTH 1/2
 OF THE NORTHWEST 1/4 OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13,
 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THE SOUTH 1/2
 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 AND A LINE DRAWN 10.00
 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID NORTHWEST
 1/4; THENCE SOUTH ALONG THE SAID PARALLEL LINE A DISTANCE OF
 18.00 FEET; THENCE EAST PARALLEL WITH THE SAID NORTH LINE OF THE
 SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 A DISTANCE OF
 538.34 FEET; THENCE CONTINUING SOUTHEASTERLY ALONG A CURVED LINE
 TANGENT TO THE LAST DESCRIBED CURVED LINE, A DISTANCE OF 29.87
 FEET TO THE INTERSECTION WITH A LINE DRAWN PERPENDICULAR TO THE
 SOUTH LINE OF THE SAID NORTHWEST 1/4 AT A POINT 691.00 FEET EAST
 OF THE SOUTHWEST CORNER OF THE SAID NORTHWEST 1/4; THENCE
 NORTH ALONG SAID PERPENDICULAR LINE A DISTANCE OF 19.71 FEET;
 THENCE NORTHWESTERLY ALONG A STRAIGHT LINE PARALLEL WITH AND
 18.00 FEET DISTANT FROM THE LAST DESCRIBED STRAIGHT LINE A
 DISTANCE OF 74.73 FEET; THENCE CONTINUING NORTHWESTERLY ON A
 CURVED LINE CONVEX NORTHEASTERLY AND CONCENTRIC WITH THE LAST
 DESCRIBED CURVED LINE HAVING A RADIUS OF 438.59 FEET A DISTANCE
 OF 73.47 FEET (ARC) TO A POINT ON THE NORTH LINE OF THE SAID
 SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4; THENCE WEST
 ALONG SAID NORTH LINE A DISTANCE OF 541.79 FEET TO THE POINT OF
 BEGINNING (EXCEPTING THEREFROM THAT PART OF SAID LAND FALLING IN
 PARCEL 1), IN COOK COUNTY, ILLINOIS.

PIN(s):
 10-35-203-011-0000
 10-35-203-012-0000

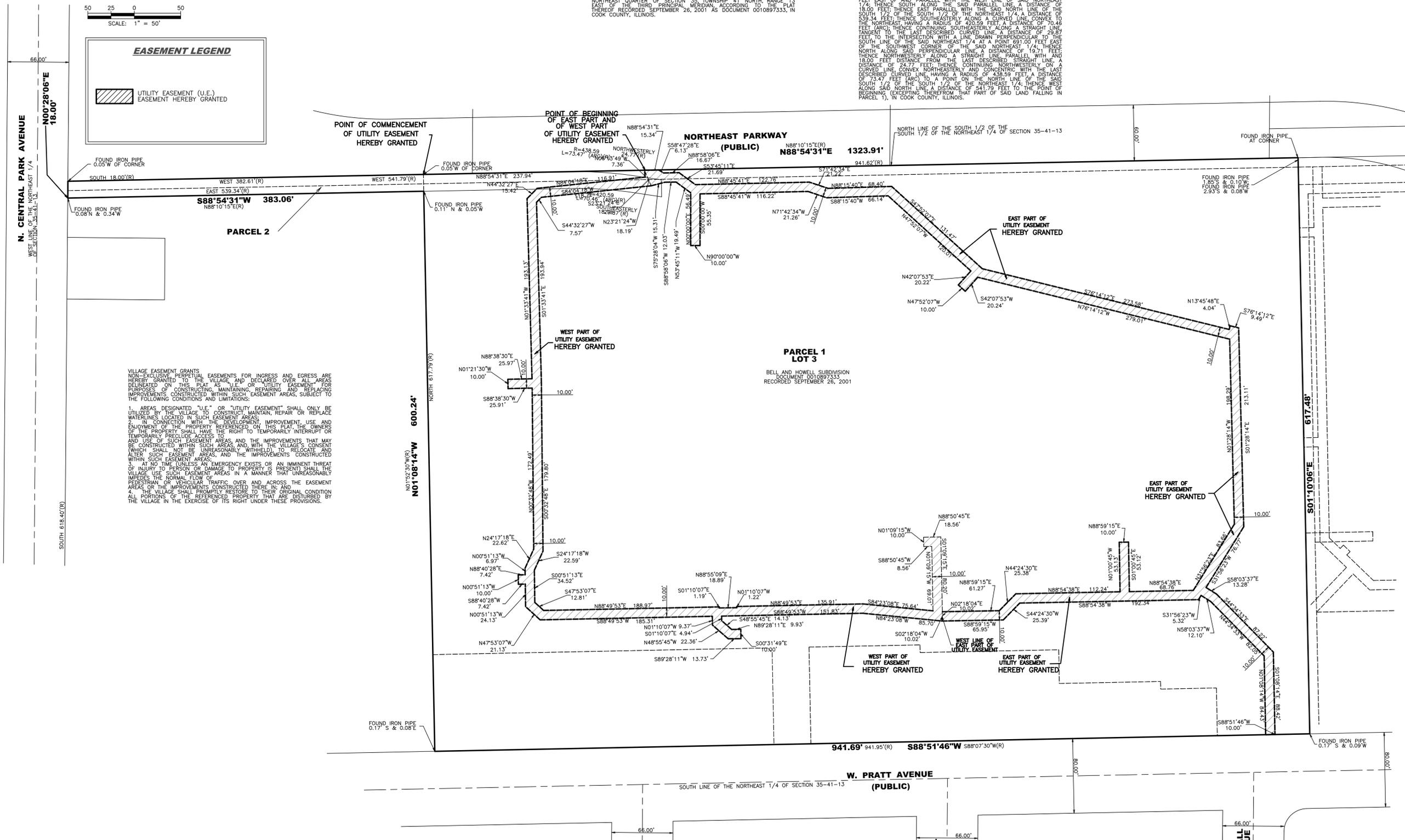
RECORDING SPACE



50 25 0 50
 SCALE: 1" = 50'

EASEMENT LEGEND

UTILITY EASEMENT (U.E.)
 EASEMENT HEREBY GRANTED



VILLAGE EASEMENT GRANTS
 NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR INGRESS AND EGRESS ARE
 HEREBY GRANTED TO THE VILLAGE AND DECLARED OVER ALL AREAS
 DELINEATED ON THIS PLAT AS UTILITY EASEMENT FOR
 PURPOSES OF CONSTRUCTING, MAINTAINING, REPAIRING AND REPLACING
 IMPROVEMENTS CONSTRUCTED WITHIN SUCH EASEMENT AREAS, SUBJECT TO
 THE FOLLOWING CONDITIONS AND LIMITATIONS:
 1. AREAS DESIGNATED "U.E." OR "UTILITY EASEMENT" SHALL ONLY BE
 UTILIZED BY THE VILLAGE TO CONSTRUCT, MAINTAIN, REPAIR OR REPLACE
 WATERLINES LOCATED IN SUCH EASEMENT AREAS;
 2. IN CONNECTION WITH THE DEVELOPMENT, IMPROVEMENT, USE AND
 ENJOYMENT OF THE PROPERTY REFERENCED ON THIS PLAT, THE OWNERS
 OF THE PROPERTY SHALL HAVE THE RIGHT TO TEMPORARILY INTERRUPT OR
 TEMPORARILY PRECLUDE ACCESS TO THE PROPERTY REFERENCED ON THIS PLAT
 AND USE OF SUCH EASEMENT AREAS, AND THE IMPROVEMENTS THAT MAY
 BE CONSTRUCTED WITHIN SUCH AREAS, AND WITH THE VILLAGE'S CONSENT
 (WHICH SHALL NOT BE UNREASONABLY WITHHELD) TO RELOCATE AND
 ALTER SUCH EASEMENT AREAS, AND THE IMPROVEMENTS CONSTRUCTED
 WITHIN SUCH EASEMENT AREAS;
 3. AT NO TIME (UNLESS AN EMERGENCY EXISTS OR AN IMMINENT THREAT
 OF INJURY TO PERSON OR DAMAGE TO PROPERTY IS PRESENT) SHALL THE
 VILLAGE USE SUCH EASEMENT AREAS IN A MANNER THAT UNREASONABLY
 IMPEDES THE NORMAL FLOW OF
 PEDESTRIAN OR VEHICULAR TRAFFIC OVER AND ACROSS THE EASEMENT
 AREAS OR THE IMPROVEMENTS CONSTRUCTED THEREIN; AND
 4. THE VILLAGE SHALL PROMPTLY RESTORE TO THEIR ORIGINAL CONDITION
 ALL PORTIONS OF THE REFERENCED PROPERTY THAT ARE DISTURBED BY
 THE VILLAGE IN THE EXERCISE OF ITS RIGHT UNDER THESE PROVISIONS.

GENERAL NOTES:

1. THIS PLAT IS SUBJECT TO MATTERS OF TITLE THAT MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. BEARINGS BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM.
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
2. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.

THIS PLAT SUBMITTED BY AND SEND TAX BILL TO:

SOUTH BAY PARTNERS
 5307 E. MOCKINGBIRD LANE
 SUITE 1010
 DALLAS, TX 75206

AFTER RECORDING, MAIL PLAT TO:

SOUTH BAY PARTNERS
 5307 E. MOCKINGBIRD LANE
 SUITE 1010
 DALLAS, TX 75206

Mackie Consultants, LLC
 9575 W. Higgins Road, Suite 500
 Rosemont, IL 60018
 (847)696-1400
 www.mackieconsult.com

CLIENT:
SOUTH BAY PARTNERS
 5307 E. MOCKINGBIRD LANE SUITE 1010
 DALLAS, TEXAS 75206
 PH: (214) 370-2629 FAX: (214) 370-2699

DATE	DESCRIPTION OF REVISION	RWO	BY
09-01-16	REVISE PER REVIEW	RWO	DESIGNED
08-26-16	REVISE PER REVIEW	RWO	DRAWN
06-07-16	REVISE PER REVIEW	RWO	SMC/RWO
05-03-16	REVISE PER REVIEW	RWO	APPROVED
03-30-16	REVISE PER REVIEW	RWO	DAG
03-21-16	REVISE PER REVIEW	RWO	DATE
	REVISE PER REVIEW	RWO	02-22-16
	REVISE PER REVIEW	RWO	SCALE
	REVISE PER REVIEW	RWO	1" = 50'

PLAT OF EASEMENT GRANT & VACATION 3400 W. PRATT AVENUE LINCOLNWOOD, ILLINOIS

SHEET
2 OF 3
 PROJECT NUMBER: 2676
 © MACKIE CONSULTANTS LLC, 2016
 ILLINOIS FIRM LICENSE 184-002694

Request For Board Action

REFERRED TO BOARD: September 6, 2016

AGENDA ITEM NO: 4

ORIGINATING DEPARTMENT: Police

SUBJECT: Approval of a Resolution Authorizing the Purchase of One 2017 Ford F-150 Super Cab Vehicle from Wright Automotive Routes 127 & 185 P.O. Box 279, Hillsboro, IL 62049 in the amount of \$25,434.00

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

The Village Board approved \$64,800 in the FY2016-17 Budget for the purchase of two police vehicles. Staff originally requested funds for three vehicles scheduled for replacement in the Vehicle Replacement Plan; one marked police squad car, one detective vehicle, and one community service vehicle. However, due to the lack of available funding, only the marked police vehicle and detective vehicle were approved. The community service officer vehicle was deferred until FY2017-18.

The marked police vehicle was replaced earlier than intended following a motor vehicle traffic crash. A motorist traveling southbound on Crawford Avenue disregarded a red light at Pratt Avenue and struck the driver's side of the marked police vehicle car. The marked police vehicle was declared a total loss by the insurance company. The cost of replacing the marked police vehicle car was offset by the other driver's insurance.

Staff is recommending replacing the community service officer vehicle instead of the detective vehicle, and deferring replacement of the detective vehicle until FY2017-18. After re-evaluating the Police Department's fleet; the age, mileage and condition of the community service officer vehicle make it a higher priority than the detective vehicle. The community service officer vehicle is a 2004 Ford F-150 Super Cab with 70,000 miles, and the Public Works Department staff reported it has "substantial frame rust." The report of substantial frame rust caused the Police Department staff to recommend it be replaced prior to the detective vehicle.

This request is to purchase a replacement vehicle for the community service officer from Wright Automotive Routes 127 & 185 P.O. Box 279, Hillsboro, IL, 62049 in the amount of \$25,434.00. Wright Automotive was awarded a State of Illinois contract for the 2017 Ford F-150 Super Cab. The contract numbers are 4018025 and 4018026.

FINANCIAL IMPACT:

Funds in the amount of \$64,800 were approved in the Police Department's FY2016-17 Budget.

DOCUMENTS ATTACHED:

1. Proposed Resolution
2. Memorandum from Lt. David Macaluso
3. State of Illinois Contract 4018025 and 4018026
4. Options List for 2017 Ford F-150 Super Cab

RECOMMENDED MOTION:

Move to approve a Resolution Authorizing the Purchase of one 2017 Ford F-150 Super Cab from Wright Automotive of Hillsboro, IL in the amount of \$25,434.00

VILLAGE OF LINCOLNWOOD

RESOLUTION NO. R2016-_____

**A RESOLUTION APPROVING THE PURCHASE OF
ONE 2017 FORD F-150 SUPER CAB VEHICLE
FROM WRIGHT AUTOMOTIVE, OF HILLSBORO, ILLINOIS**

WHEREAS, the Village Police Department has identified the need to replace one police community service officer with one 2017 Ford F-150 super cab vehicle ("*Vehicle*"); and

WHEREAS, the State of Illinois Central Management Services Joint Purchasing Program ("*State Program*"), of which the Village is a member, sought bids for the award of a contract for the purchase of the Vehicle ("*State Contract*"); and

WHEREAS, the State Program identified Wright Automotive, of Hillsboro, Illinois ("*Wright*"), as the low responsible bidder for the State Contract; and

WHEREAS, the Village desires to purchase the Vehicle from Wright, in a total amount not to exceed \$25,434.00; and

WHEREAS, the Village President and Board of Trustees have determined that it will serve and be in the best interest of the Village to purchase one Vehicle from Wright, in a total amount not to exceed \$25,434.00;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

SECTION 2. APPROVAL OF PURCHASE OF VEHICLE. The purchase of the Vehicle from Wright, in a total amount not to exceed \$25,434.00, is hereby approved.

SECTION 3. EXECUTION OF REQUIRED DOCUMENTATION. The Village Manager and the Village Clerk are hereby authorized to execute and attest, on behalf of the Village, all documents necessary to complete the purchase authorized pursuant to Section Two of this Resolution.

SECTION 4. EFFECTIVE DATE. This Resolution will be in full force and effect from and after its passage and approval as provided by law.

[SIGNATURE PAGE FOLLOWS]

PASSED this ____ day of _____, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTENTION: _____

APPROVED by me this _____ day of _____, 2016.

Lawrence Elster, President Pro Tem
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
_____ day of _____, 2016

Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois



LINCOLNWOOD POLICE DEPARTMENT

INTER-OFFICE MEMO

Robert LaMantia
Chief of Police

To: Robert LaMantia, Chief of Police

From: Lt. Macaluso *RM*

Date: August 27, 2016

Subject: Amended Request for Vehicles FY 2016/17

I had originally requested to replace three vehicles for FY 2016/17; marked squad #218, detective unmarked unit 31, and CSO pickup truck unit 7. Due to budget constraints, only two units were able to be replaced. In my absence, CSO Weidner made the decision to replace squad 218 and unit 31, foregoing the replacement of the CSO truck at that time. This was approved and budgeted as such. Not long after, squad 218 was involved in a traffic accident and was determined to be a total loss. The other party's insurance was determined to be at fault and paid the Village for the damaged squad, minus depreciation. A new squad 218 was ordered using the insurance payout and budgeted funds. I would like to make a change to the purchasing plan by replacing the CSO truck instead of the detective vehicle this year. The truck is a 2004 model and has over 70,000 miles and reported substantial frame rust. Unit 31 is a 2007 model and has 48,000 miles and is rarely driven.

- One Ford F150 Super Cab, 4X4, Pick Up to replace CSO 7.
\$26,434 from Wright Automotive through the Illinois Department of Central Management Services. A similarly equipped vehicle through the Suburban Purchasing Cooperative, Northwest Municipal Conference would be \$685 more.

Master Contract



Help

Contract
Number
4018025

Identification

Date Published: 08/10/2016

Contract Number: 4018025

Contract Title: PSD LIGHT-DUTY TRUCKS - MASTER
CONTRACT

Category: Equipment

T-Number: T6840

T-Number Title: VEHICLES TRUCKS LIGHT/MED DUTY

Start Date: 03/06/2015

Expiration Date: 03/05/2017

Renewals Remaining

Fiscal Year: 15

Joint Purchasing
Indicator: Yes

Green Contract No

Small Business Set- No

Aside:

Does this contract No

include a BEP

Requirement

Agency

****Agency designation restricts who can purchase from this contract.
R0 indicates purchasing is open statewide.**

Agency: SWC - Statewide Contract

Master Agency: R0

Master Sub-

Agency:

Comments/Overview

Attachments Require Adobe® Acrobat® Reader to View.

[Contract File Attachment for: 4018025](#)

Master Contract



Contract
Number
4018026

Identification

Date Published: 08/10/2016

Contract Number: 4018026
Contract Title: PSD LIGHT-DUTY TRUCKS - MASTER CONTRACT

Category: Equipment

T-Number: T6840
T-Number Title: VEHICLES TRUCKS LIGHT/MED DUTY

Start Date: 03/06/2015
Expiration Date: 03/05/2017
Renewals Remaining
Fiscal Year: 15

Joint Purchasing Indicator: Yes
Green Contract: No
Small Business Set-Aside: No
Does this contract include a BEP Requirement: No

Close

Agency

****Agency designation restricts who can purchase from this contract. R0 indicates purchasing is open statewide.**

Agency: SWC - Statewide Contract
Master Agency: R0
Master Sub-Agency:

Comments/Overview

Attachments Require Adobe® Acrobat® Reader to View.

[Contract File Attachment for: 4018026](#)

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STATE OF ILLINOIS
DEPARTMENT OF
CENTRAL MANAGEMENT SERVICES

T NUMBER: T6840
PAGE NO.: 00001

DISTRIBUTE TO: 416PSD : BUREAU OF STRATEGIC SOURCING

NOTICE OF AWARD

CONTRACT TITLE: PSD LIGHT-DUTY TRUCKS - MASTER CONTRACT

CONTRACT NO: VARIOUS

OPTIONS AVAILABLE: 02 JOINT PURCHASING: YES

VENDOR NAME AND ADDRESS VENDOR NUMBER:
* * SEE ATTACHED * *

CONTACT THE FOLLOWING IN THE EVENT OF QUESTIONS PERTAINING TO THIS CONTRACT:

BUYER NAME AND PHONE
BRETT BARNES
(217) 785-3851

SOLICITATION: 227781 BID OPEN DATE: 09/30/14

CONTRACT NO: 4018025 4018026
A10128 : VENDOR PAYMENT PROGRAM:

DUE TO UNPRECEDENTED ECONOMIC RECESSION, ILLINOIS HAS EXPERIENCED LOWER THAN EXPECTED REVENUES WHICH HAS LED TO A DELAYED PAYMENT CYCLE. IN MANY CASES, VENDORS AND SERVICE PROVIDERS ARE WAITING SEVERAL MONTHS TO RECEIVE PAYMENT FOR GOODS AND SERVICES PROVIDED TO THE STATE. THE STATE OF ILLINOIS VENDOR PAYMENT PROGRAM IS INTENDED TO PROVIDE RELIEF TO THOSE VENDORS AND SERVICE PROVIDERS.

FOR MORE INFORMATION PLEASE SEE OUR WEBSITE AT PAYMENTS.ILLINOIS.GOV.

CONTRACT NO: 4018025
J04801 : SCOPE:

TO ESTABLISH CONTRACTS TO ENABLE ALL STATE AGENCIES AND AUTHORIZED LOCAL GOVERNMENTAL UNITS TO PURCHASE CURRENT MODEL YEAR PRODUCTION LIGHT-DUTY TRUCKS DURING THE CONTRACT PERIOD.

CONTRACT NO: 4018025 4018026
J04803 : TERM AND RENEWALS:

THE CONTRACT PERIOD WILL BE FOR ONE YEAR UPON EXECUTION WITH THE FOLLOWING RENEWAL OPTIONS.

UPON MUTUAL AGREEMENT, THE PARTIES MAY RENEW THE RESULTING CONTRACT(S) FOR A TOTAL OF TWO (2) YEARS IN ONE OF THE FOLLOWING MANNERS:

- A) ONE RENEWAL FOR THE ENTIRE RENEWAL ALLOWANCE.
- B) INDIVIDUAL ONE-YEAR RENEWALS.
- C) ANY COMBINATION OF FULL OR PARTIAL-YEAR RENEWALS UP TO AND INCLUDING THE ENTIRE RENEWAL ALLOWANCE.

RENEWAL SHALL BE ON THE SAME TERMS AND CONDITIONS AS THE ORIGINAL CONTRACT EXCEPT AS OTHERWISE ALLOWED IN THE CONTRACT. NO RENEWAL MAY BE EFFECTIVE AUTOMATICALLY. NO RENEWAL MAY BE EFFECTIVE SOLELY AT THE VENDOR'S OPTION.

THE LENGTH OF THE CONTRACT, INCLUDING ANY RENEWALS, MAY NOT EXCEED THAT ALLOWED BY LAW, INCLUDING 30 ILCS500/20-60. A TERM CONTRACT CHANGE CONFIRMING RENEWAL OF THIS CONTRACT WILL BE ISSUED.

CONTRACT NO: 4018025 4018026
J04806 : DELIVERY:

VEHICLE PRICES ARE TO BE QUOTED TO INCLUDE DELIVERY TO SPRINGFIELD,

ELGIN, AND DOWNERS GROVE FOR STATE OF ILLINOIS VEHICLES.

UNLESS THE LOCAL GOVERNMENTAL UNIT ACCEPTS DELIVERY F.O.B. DEALER'S PLACE OF BUSINESS, LOCAL GOVERNMENTAL UNIT VEHICLES ARE TO BE DELIVERED TO THE LOCAL GOVERNMENTAL UNIT. A COST FOR DELIVERY TO LOCAL GOVERNMENTAL UNITS IS SHOWN UNDER EACH APPLICABLE LINE ITEM.

CONTRACT NO: 4018025 4018026
J04808 : SPECIFICATION ADJUSTMENT/AMENDMENTS:

IN THE EVENT THAT SPECIFICATION ADJUSTMENTS AND/OR CHANGES IN OPTIONAL EQUIPMENT IS DEEMED NECESSARY BY THE STATE DURING THE TERM OF THE CONTRACT, THE PRICES SHALL BE EQUAL TO OR LESS THAN THE MANUFACTURER'S PUBLISHED DEALER COST. MANUFACTURER'S INVOICES SHOWING INVOICE AMOUNT MAY BE REQUIRED TO VERIFY PRICE.

AMENDMENTS:
NO AMENDMENT OR MODIFICATION TO THIS CONTRACT SHALL BE BINDING ON THE STATE UNLESS IT IS IN WRITING AND CONTAINS THE AUTHORIZED SIGNATURE.

CONTRACT NO: 4018025 4018026
J04812 : ORDER CUT-OFF DATES:

IT SHALL BE THE VENDORS'S RESPONSIBILITY TO INFORM CENTRAL MANAGEMENT SERVICES OF THE MANUFACTURER'S ORDER CUT-OFF DATE. IF THE DELIVERY TIME OF THE VEHICLE WILL NOT MEET THE AUGUST 1 LAPSE PERIOD DEADLINE FOR FUNDING, THEN IT SHALL BE THE RESPONSIBILITY OF THE VENDOR TO INFORM CENTRAL MANAGEMENT SERVICES AND MUTUALLY AGREE UPON A NEW ORDER CUT-OFF DATE FOR STATE OF ILLINOIS VEHICLES THAT WOULD MEET THE AUGUST 1 LAPSE PERIOD REQUIREMENT.

FAILURE TO DO SO MAY REQUIRE THE VENDOR TO GO TO COURT OF CLAIMS FOR PAYMENT.

THE VENDOR HAS THE RIGHT TO NOT ACCEPT ORDERS AFTER THE MODEL YEAR ORDER CUT-OFF DATE ISSUED BY THE MANUFACTURER OR A MUTUALLY AGREED UPON ORDER CUT-OFF DATE UNTIL A RENEWAL OF THE CONTRACT TO INCLUDE THE NEXT MODEL YEAR HAS BEEN MUTUALLY AGREED UPON BY BOTH PARTIES.

IF MUTUAL AGREEMENT FOR RENEWAL OF THE CONTRACT CANNOT BE AGREED UPON, THE STATE RESERVES THE RIGHT TO CANCEL THE CONTRACT.

CONTRACT NO: 4018025 4018026
J04813 : LARGE QUANTITY ORDERS:

A LARGE QUANTITY ORDER MAY REQUIRE ESTABLISHMENT OF A DELIVERY SCHEDULE. ACCELERATED DELIVERIES WITHOUT WRITTEN PERMISSION OF THE ORDERING ENTITY WILL NOT BE PERMITTED.

CONTRACT NO: 4018025 4018026
J04825 : WARRANTY/RECALL AND SERVICE BULLETINS:

VEHICLES SHALL BE COVERED BY THE MANUFACTURER'S STANDARD FACTORY WARRANTY.

IT SHALL BE THE RESPONSIBILITY OF THE SUCCESSFUL BIDDER TO ENSURE THAT ALL MANUFACTURER'S RECALL AND SERVICE BULLETINS PERTAINING TO THE VEHICLES PURCHASED ARE SENT TO THE DEPT. OF CENTRAL MANAGEMENT SERVICES, DIVISION OF VEHICLES, 200 EAST ASH STREET, SPRINGFIELD, IL 62704. THE MANUFACTURER SHALL PLACE THE DIVISION OF VEHICLES ON IT'S DEALER MAILING LIST TO RECEIVE THIS INFORMATION.

LOCAL GOVERNMENTAL UNITS SHALL BE CONTACTED INDIVIDUALLY.

CONTRACT NO: 4018025 4018026
J04826 : FACTORY REBATE:

IF DURING THE CONTRACT PERIOD THE STATE OR LOCAL GOVERNMENTAL UNIT

BECOMES ELIGIBLE TO RECEIVE A FACTORY REBATE FOR ANY VEHICLES PURCHASED UNDER THIS CONTRACT, THE VENDOR SHALL INFORM THE STATE OR LOCAL GOVERNMENTAL UNIT OF THE PROCEDURE FOR OBTAINING SUCH REBATE(S).

ELIGIBLE LOCAL GOVERNMENTAL UNITS SHALL BE CONTACTED INDIVIDUALLY.

CONTRACT NO: 4018025 4018026
J05201 : STANDARD CONTRACT PROVISIONS FOR VEHICLES:

VEHICLES SHALL BE NEW (UNUSED), MANUFACTURER'S MODELS IN PRODUCTION AT THE TIME OF THE CONTRACT OR TIME OF ORDER. VEHICLES SHALL BE COMPLETELY PREPARED FOR DELIVERY BY DEALER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

AN OWNER'S MANUAL SHALL BE PROVIDED WITH EACH VEHICLE.

ADVERTISING AND VEHICLE INFORMATION: NO VEHICLE WILL BE ACCEPTED IF THERE APPEARS ON ANY PORTION OF THE VEHICLE A DEALER LOGO OF ANY KIND (DECALS, ETC.); HOWEVER, ALL NEW VEHICLE INFORMATION, AS REQUIRED BY LAW AND REGULATION, SHALL BE AFFIXED AT TIME OF DELIVERY (WINDOW STICKER, E.P.A. MILEAGE INFORMATION, ETC.).

ALL VEHICLES MUST BE IN ACCORDANCE WITH THE FOLLOWING CRITERIA:

- A. SPECIFICATIONS: UNLESS OTHERWISE REQUIRED IN THIS INVITATION FOR BID, ALL VEHICLES MUST BE EQUIPPED WITH ALL THE MANUFACTURER'S EQUIPMENT ADVERTISED AS STANDARD CONSUMER EQUIPMENT. STANDARD OR OPTIONAL EQUIPMENT MUST BE OEM UNLESS SPECIFICALLY ALLOWED FOR IN THE COMMODITY DESCRIPTION.

ALL VEHICLES MUST MEET ALL APPLICABLE FEDERAL AND/OR STATE MOTOR VEHICLE SAFETY STANDARDS AND GOVERNMENTAL EMISSION REQUIREMENTS IN EFFECT AT TIME OF PURCHASE.

- B. FUEL: ALL VEHICLES DELIVERED MUST INCLUDE A MINIMUM OF ONE-QUARTER (1/4) TANK OF FUEL AS REGISTERED BY THE VEHICLE FUEL GAUGE AT TIME OF DELIVERY.
- C. ANTI-FREEZE: PERMANENT TYPE, PROTECTION TO -20 DEG. F. RADIATOR TO BE SO NOTATED IN A SEMI-PERMANENT MANNER (TAGGED).
- D. TIRES AND WHEELS: TO BE EQUIPPED WITH ORIGINAL EQUIPMENT, TIRES OF THE SIZE AND LOAD RANGE REQUIRED BY THE MANUFACTURER FOR THE MODEL AND/OR GROSS VEHICLE WEIGHT RATING (GVWR). SPARE TIRE, WHEEL AND CARRIER (HOLD-DOWN) TO BE ORIGINAL EQUIPMENT AND TO BE INCLUDED ON ALL APPLICABLE VEHICLES.
- E. ACCESSORY EQUIPMENT: ALL APPLICABLE VEHICLES ARE TO INCLUDE WHEEL WRENCH AND LIFTING DEVICE (JACK-MECHANICAL OR HYDRAULIC) CAPABLE OF LIFTING THE VEHICLE SO AS TO REPLACE ANY WHEEL UNDER THE MAXIMUM RATED LOAD.

PRIOR TO DELIVERY:

CONTRACTOR'S PRE-DELIVERY SERVICES MUST BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S PROCEDURES AND SHALL INCLUDE THOROUGH CLEANING AND WASHING OF VEHICLE(S).

AT TIME OF DELIVERY THE CONTRACTOR MUST PROVIDE THE FOLLOWING:

- A. A CERTIFICATE OF ORIGIN.
- B. TWO COPIES OF THE VENDORS'S INVOICE (THE INVOICE SHALL CONTAIN SIMILAR INFORMATION AS REQUIRED ON THE DELIVERY TAG).
- C. A DELIVERY TAG, IN DUPLICATE, MUST ACCOMPANY EACH VEHICLE. THE TAG IS TO SHOW THE FOLLOWING INFORMATION:
- (1) PURCHASING AGENCY
 - (2) RELEASE ORDER, PURCHASE ORDER, OR INTENT TO PURCHASE ORDER NUMBER

- (3) REQUISITION NUMBER (IF APPLICABLE)
- (4) LINE ITEM NUMBER
- (5) VEHICLE IDENTIFICATION NUMBER
- (6) EQUIPMENT NUMBER OF TRADE-IN (IF APPLICABLE)
- (7) SIGNATURE BLOCK FOR RECEIVING INDIVIDUAL
- (8) KEY CODING NUMBER TO BE PROVIDED WITH EACH VEHICLE.
- (9) STATE OF ILLINOIS TAX FORM RR-556, AS REVISED.
- (10) MILEAGE CERTIFICATION FORM

VEHICLES WILL NOT BE ACCEPTED WITHOUT MEETING THE ABOVE MENTIONED REQUIREMENTS.

CONTRACT NO: 4018025 4018026
J05202 : ECONOMIC ADJUSTMENT CLAUSE:

IN THE EVENT THE VENDOR'S QUOTED PRICE FOR THE VEHICLES COVERED BY THIS CONTRACT SHOULD INCREASE, AFTER THE INITIAL TERM OF THE CONTRACT, DUE TO MANUFACTURER'S MANDATED CHANGES IN STANDARD EQUIPMENT ON THE VEHICLE FROM MODEL YEAR TO MODEL YEAR, THE CONTRACT PRICE(S) MAY, UPON SUBMISSION OF WRITTEN PROOF OF SUCH INCREASE, AND APPROVAL BY THE STATE OF ILLINOIS, BE ADJUSTED BY AN AMOUNT SUFFICIENT TO COMPENSATE THE VENDOR COMPLETELY AND PRECISELY FOR SUCH INCREASE. THE CLAIM FOR SUCH ADJUSTMENT MUST INCLUDE, AS APPLICABLE, A CERTIFICATION FROM THE VENDOR VERIFYING COST AT THE TIME OF THE AWARD AND AT THE TIME OF THE REQUESTED INCREASE. THE INCREASE WILL BE ONLY ON THE COST TO THE VENDOR. NO INCREASE OR CHANGE IN THE VENDOR'S OVERHEAD, PROFIT OR OR OTHER FACTORS WILL BE APPROVED. THE STATE RESERVES THE RIGHT TO ASK FOR INVOICES, PUBLISHED PRICE LISTS, OR ANY OTHER EVIDENCE ESTABLISHING VENDOR'S COST TO SUPPORT THE INCREASE. IN ALL CASES, THE VENDOR MUST FILE A CLAIM FOR SUCH ADJUSTMENT AT THE BEGINNING OF THE NEW MODEL YEAR BEFORE DELIVERY OF VEHICLES. IF THE VENDOR HAS EXCESSIVE COMPLAINTS FILED AGAINST THEM FOR NON-DELIVERY OR POOR QUALITY, THE REQUEST MAY BE DENIED UNTIL SUCH TIME AS ALL PAST COMPLAINTS ARE RESOLVED.

IN THE EVENT THE PRICE SHOULD DECREASE DUE TO MANUFACTURER'S MANDATED CHANGES IN STANDARD EQUIPMENT FOR A MODEL YEAR DURING THE CONTRACT PERIOD, THE VENDOR SHALL ADJUST THE PRICE DOWNWARD TO COMPLETELY AND PRECISELY ACCOUNT FOR SUCH DECREASE. SUCH DECREASES SHALL BECOME EFFECTIVE UPON THE EFFECTIVE DATE OF THE MANUFACTURER'S MANDATED CHANGE. IT IS THE RESPONSIBILITY OF THE VENDOR TO NOTIFY THE ILLINOIS DEPARTMENT OF CENTRAL MANAGEMENT SERVICES OF ANY SUCH DECREASE.

IN THE EVENT THAT OPTIONS COVERED BY THIS CONTRACT SHOULD INCREASE DUE TO MANUFACTURER'S MANDATED CHANGES THE CONTRACT PRICE(S) MAY, UPON SUBMISSION OF WRITTEN PROOF OF SUCH INCREASE, AND APPROVAL BY THE STATE OF ILLINOIS, BE ADJUSTED BY AN AMOUNT SUFFICIENT TO COMPENSATE THE VENDOR COMPLETELY AND PRECISELY FOR SUCH INCREASE. THE INCREASE SHALL BE EQUAL TO OR LESS THAN THE MANUFACTURER'S PUBLISHED DEALER COST.

IN THE EVENT THAT THE PRICE SHOULD DECREASE FOR ANY OPTIONS DUE TO MANUFACTURER'S MANDATED CHANGES THE VENDOR SHALL ADJUST THE PRICE(S) DOWNWARD TO COMPLETELY AND PRECISELY ACCOUNT FOR SUCH DECREASE. IT SHALL BE THE RESPONSIBILITY OF THE VENDOR TO NOTIFY THE ILLINOIS DEPARTMENT OF CENTRAL MANAGEMENT SERVICES OF ANY SUCH DECREASES.

CLAIMS FOR ECONOMIC ADJUSTMENT WILL NOT APPLY TO RELEASE ORDERS EXECUTED PRIOR TO THE DATE THE BUREAU OF STRATEGIC SOURCING RECEIVED THE REQUESTED INCREASE.

CONTRACT NO: 4018025 4018026
J08010 : COURT OF CLAIMS:

STATE OF ILLINOIS VEHICLES MUST BE DELIVERED AND INVOICE RECEIVED PRIOR TO AUGUST 1ST OF EACH YEAR OR THE VENDOR MAY BE REQUIRED TO GO TO THE COURT OF CLAIMS FOR PAYMENT. FUNDING FROM WHICH PAYMENT IS TO BE MADE LAPSES AUGUST 31ST OF EACH YEAR.

CONTRACT NO: 4018026

J04801 : SCOPE:

TO ESTABLISH CONTRACTS TO ENABLE ALL STATE AGENCIES AND AUTHORIZED
LOCAL GOVERNMENTAL UNITS TO PURCHASE CURRENT MODEL YEAR PRODUCTION
LIGHT-DUTY TRUCKS DURING THE CONTRACT PERIOD.

VENDOR NAME AND ADDRESS

MILES CHEVROLET NISSAN
GMAC
BOX 3160
DECATUR, IL 62524-3160

CONTRACT NO: 4018025
PYMT TERMS: NONE
DELIVERY: 90 DAYS ARO
VENDOR NO:
BUSINESS CLASS CODE: NNLEN
LEGAL STATUS: CORPORATION
CONTRACT END DATE: 03/05/17

PRIME VENDOR: N
CONTRACT BEGIN DATE: 03/06/15

CONTACT NAME: TOM WENE
CONTACT PHONE: (217) 872-2070
CONTACT E-MAIL: TWENE@MILESCHEVROLET.COM

CONTACT FAX: (217) 872-2069

WRIGHT AUTOMOTIVE INC
11159 IL RT 185
P O BOX 279
HILLSBORO, IL 62049-0279

CONTRACT NO: 4018026
PYMT TERMS: NONE
DELIVERY: 120 DAYS ARO
VENDOR NO:
BUSINESS CLASS CODE: PPLEN
LEGAL STATUS: CORPORATION
CONTRACT END DATE: 03/05/17

PRIME VENDOR: N
CONTRACT BEGIN DATE: 03/06/15

CONTACT NAME: RICK CRUSE
CONTACT PHONE: (866) 532-3921
CONTACT E-MAIL: RCRUSE@WRIGHTAUTOMOTIVE.COM

CONTACT FAX: (217) 608-2111

LINE#	DESCRIPTION/MFGR/BRAND	QUANTITY FROM/TO	UNIT	DISCOUNT	UNIT PRICE
00001	COMMODITY CODE: 5012-803-1011 TRUCK, FULL-SIZE PICKUP, 4X2, REG CAB, 8' BED	175.000	EACH	N/A	\$ 18,979.00000

BASIC UNIT TO INCLUDE:

1. STANDARD SIZE PICKUP TRUCK AS CLASSIFIED BY THE U.S. DEPARTMENT OF ENERGY AND U.S. ENVIRONMENTAL PROTECTION AGENCY IN THEIR PUBLISHED FUEL ECONOMY GUIDE
2. ALL STANDARD EQUIPMENT, NO DELETIONS
3. ENGINE: V-8 (MIN) FLEXIBLE FUEL
4. AUTOMATIC TRANSMISSION
5. TIRES: (5) ALL SEASON STEEL BELTED RADIALS, FRONT, REAR, AND SPARE TO MEET GVWR RATING
6. 4-WHEEL ANTI-LOCK BRAKES
7. SEATING: ALL-VINYL, SPLIT BENCH TYPE
8. RADIO: AM/FM STEREO (MIN)
9. TINTED GLASS
10. INTERMITTENT WIPERS
11. DRIVER AND FRONT PASSENGER AIR BAGS
12. AIR CONDITIONING

MFR. ORDER CUTOFF DATE: DATE PENDING

NOTE:

STATE OF ILLINOIS FY17 LAPSE FUNDING ORDERS MUST BE RECEIVED BY THE VENDOR NO LATER THAN X/XX/2017, SO THAT DELIVERY AND INVOICING MAY OCCUR PRIOR TO FISCAL YEAR DEADLINES.

DELIVERY TIME: 90 DAYS

STANDARD COLORS AVAILABLE:

EXTERIOR INTERIOR

BLACK ASH
WHITE
SILVER
RED
GRAPHITE

VENDOR: MILES CHEVROLET NISSAN

:

CONTRACT NO: 4018025

BRAND: CHEVROLET MODEL: SILVERADO

00002	COMMODITY CODE: 5012-055-0150 OPTION, 4-WHEEL DRIVE FOR THE ABOVE REFERENCED VEHICLE.	1.000	EACH	N/A	\$ 2,500.00000
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VENDOR: MILES CHEVROLET NISSAN

:

CONTRACT NO: 4018025

00003	COMMODITY CODE: 5012-055-0131 OPTION, CRUISE CONTROL FOR THE ABOVE REFERENCED VEHICLE.	1.000	EACH	N/A	N/C
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VENDOR: MILES CHEVROLET NISSAN

:

CONTRACT NO: 4018025

00004	COMMODITY CODE: 5012-055-0129 OPTION, CLOTH INTERIOR IN LIEU OF VINYL INTERIOR FOR THE ABOVE REFERENCED	1.000	EACH	N/A	N/C
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CONTRACT ITEMS/SERVICES
BY LINE ITEM

T NUMBER: T6840
PAGE NO.: 00008

LINE#	DESCRIPTION/MFGR/BRAND	QUANTITY FROM/TO	UNIT	DISCOUNT	UNIT PRICE
00004	CONTINUED... VEHICLE. VENDOR: MILES CHEVROLET NISSAN : CONTRACT NO: 4018025				
00005	COMMODITY CODE: 5012-055-0133 OPTION, LIMITED SLIP TYPE REAR DIFFERENTIAL FOR THE ABOVE REFERENCED VEHICLE. VENDOR: MILES CHEVROLET NISSAN : CONTRACT NO: 4018025	1.000	EACH	N/A	\$ 350.00000
00006	COMMODITY CODE: 5012-055-0139 OPTION, STANDARD TOW PACKAGE TO BE FACTORY INSTALLED, TO INCLUDE 7-WIRE HARNESS AND CLASS IV (MIN.) HITCH RECEIVER. CLASS IV HITCH RECEIVER, 7 PIN & 4 PIN CONNECTOR VENDOR: MILES CHEVROLET NISSAN : CONTRACT NO: 4018025	1.000	PKG	N/A	\$ 320.00000
00007	COMMODITY CODE: 5012-055-0137 OPTION, SKID PLATE FOR THE ABOVE REFERENCED VEHICLE. VENDOR: MILES CHEVROLET NISSAN : CONTRACT NO: 4018025	1.000	EACH	N/A	\$ 130.00000
00008	COMMODITY CODE: 5012-055-0127 OPTION, POWER WINDOWS AND DOOR LOCKS FOR THE ABOVE REFERENCED VEHICLE. POWER HEATED MIRRORS, KEYLESS ENTRY. VENDOR: MILES CHEVROLET NISSAN : CONTRACT NO: 4018025	1.000	PKG	N/A	\$ 520.00000
00009	COMMODITY CODE: 5012-055-0103 OPTION, IGNITION KEY SET FOR THE ABOVE REFERENCED VEHICLE. (NO REMOTE) VENDOR: MILES CHEVROLET NISSAN : CONTRACT NO: 4018025	1.000	EACH	N/A	\$ 40.00000
00010	COMMODITY CODE: 5012-055-0500 OPTION, DELIVERY TO LOCAL GOVERNMENT. ADD FOR DELIVERY OF ONE (1) VEHICLE TO A LOCAL GOVERNMENTAL UNIT. VENDOR: MILES CHEVROLET NISSAN : CONTRACT NO: 4018025	1.000	EACH	N/A	\$ 275.00000
00011	COMMODITY CODE: 5012-055-0501 OPTION, DELIVERY TO LOCAL GOVERNMENT. ADD FOR DELIVERY OF A MINIMUM OF TWO OR MORE VEHICLES TO A LOCAL GOVERNMENTAL UNIT. VENDOR: MILES CHEVROLET NISSAN :	1.000	EACH	N/A	\$ 225.00000

LINE#	DESCRIPTION/MFGR/BRAND	QUANTITY FROM/TO	UNIT	DISCOUNT	UNIT PRICE
00011	CONTINUED..... CONTRACT NO: 4018025				
00012	COMMODITY CODE: 5012-803-1023 TRUCK, FULL-SIZE PICKUP, 4X2, EXTENDED CAB, 4-DOORS, WITH 6 1/2' BED	100.000	EACH	N/A	\$ 20,040.00000

BASIC UNIT TO INCLUDE:

1. STANDARD SIZE PICKUP TRUCK AS CLASSIFIED BY THE U.S. DEPARTMENT OF ENERGY AND U.S. ENVIROMENTAL PROTECTION AGENCY IN THEIR PUBLISHED FUEL ECONOMY GUIDE
2. ALL STANDARD EQUIPMENT, NO DELETIONS
3. ENGINE: V-8 (MIN.) FLEXIBLE FUEL
4. AUTOMATIC TRANSMISSION
5. TIRES: (5) ALL SEASON STEEL BELTED RADIALS, FRONT, REAR, AND SPARE TO MEET GVWR RATING
6. 4-WHEEL ANTI-LOCK BRAKES
7. SEATING: ALL VINYL, SPLIT BENCH TYPE
8. RADIO: AM/FM STEREO (MIN)
9. TINTED GLASS
10. INTERMITTENT WIPERS
11. DRIVER AND FRONT PASSENGER AIR BAGS
12. AIR CONDITIONING

MFR. ORDER CUTOFF DATE: DATE PENDING

NOTE:

STATE OF ILLINOIS FY17 LAPSE FUNDING ORDERS MUST BE RECEIVED BY THE VENDOR NO LATER THAN X/XX/2017, SO THAT DELIVERY AND INVOICING MAY OCCUR PRIOR TO FISCAL YEAR DEADLINES.

DELIVERY TIME: 120 DAYS

STANDARD COLORS AVAILABLE:

EXTERIOR INTERIOR

CARIBOU MEDIUM EARTH GRAY

MAGNETIC

BLUE JEAN METALLIC

BLUE LIGHTING

SHADOW BLACK METALLIC

INGOT SILVER METALLIC

OXFORD WHITE

RACE RED

VENDOR: WRIGHT AUTOMOTIVE INC

: 11159 IL RT 185

CONTRACT NO: 4018026

BRAND: FORD MODEL: F150 SUPER CAB

00013	COMMODITY CODE: 5012-055-0040 OPTION, 8' BED FOR THE ABOVE REFERENCED VEHICLE.	1.000	EACH	N/A	\$ 333.00000
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VENDOR: WRIGHT AUTOMOTIVE INC

: 11159 IL RT 185

CONTRACT NO: 4018026

00014	COMMODITY CODE: 5012-055-0211 OPTION, 4-WHEEL DRIVE FOR THE ABOVE REFERENCED VEHICLE WITH THE EXTENDED	1.000	EACH	N/A	\$ 2,697.00000
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CONTRACT ITEMS/SERVICES
BY LINE ITEM

T NUMBER: T6840
PAGE NO.: 00010

LINE#	DESCRIPTION/MFGR/BRAND	QUANTITY FROM/TO	UNIT	DISCOUNT	UNIT PRICE
00014	CONTINUED... CAB OPTION. 4X4 ELECTRONIC SHIFT ON THE FLY ESO WITH NEUTRAL TOWING CAPABILITY, P265/70R OWL ALL-TERRAIN TIRES A/T. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026				
00015	COMMODITY CODE: 5012-055-0131 OPTION, CRUISE CONTROL FOR THE ABOVE REFERENCED VEHICLE. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 192.00000
00016	COMMODITY CODE: 5012-055-0129 OPTION, CLOTH INTERIOR IN LIEU OF VINYL INTERIOR FOR THE ABOVE REFERENCED VEHICLE. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	N/C
00017	COMMODITY CODE: 5012-055-0133 OPTION, LIMITED SLIP TYPE REAR DIFFERENTIAL FOR THE ABOVE REFERENCED VEHICLE. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 358.00000
00018	COMMODITY CODE: 5012-055-0139 OPTION, STANDARD TOW PACKAGE TO BE FACTORY INSTALLED, TO INCLUDE 7-WIRE HARNESS AND CLASS IV (MIN.) HITCH RECEIVER. SMART TRAILER TOW CONNECTOR, 4-PIN AND 7-PIN WIRING, CLASS 5 HITCH RECEIVER. AUXILLARY TRANSMISSION OIL COOLER, UP GRADE FRONT STABILIZER BAR. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	PKG	N/A	\$ 422.00000
00019	COMMODITY CODE: 5012-055-0137 OPTION, SKID PLATE FOR THE ABOVE REFERENCED VEHICLE. 4X4 ONLY VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 137.00000
00020	COMMODITY CODE: 5012-055-0143 OPTION, "SECURE IDLE" IGNITION LOCKOUT SYSTEM FOR THE ABOVE REFERENCED VEHICLE, MAY BE DEALER INSTALLED. UNIT SHALL DEACTIVATE STEERING AND TRANSMISSION, ALLOWING ENGINE TO RUN AND ELECTRICAL POWER TO ACCESSORY SIDE LOCKED IN "PARK" WITH KEYS REMOVED. SWITCH WILL BE LOCATED ON DASH. ALL ELECTRICAL CONNECTIONS TO BE SOLDERED.	1.000	PKG	N/A	\$ 200.00000

CONTRACT ITEMS/SERVICES
BY LINE ITEM

T NUMBER: T6840
PAGE NO.: 00011

LINE#	DESCRIPTION/MFGR/BRAND	QUANTITY FROM/TO	UNIT	DISCOUNT	UNIT PRICE
00020	CONTINUED..... AIR CONDITIONER AND HEATER WILL REMAIN OPERABLE WHEN THE SWITCH IS ENGAGED. MAY BE DEALER INSTALLED. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026				
00021	COMMODITY CODE: 5012-055-0212 OPTION, POWER WINDOWS AND DOOR LOCKS FOR THE ABOVE REFERENCED VEHICLE WITH ANY EXTENDED CAB OPTION. AUTOLAMP AUTO ON/OFF HEADLAMPS WITH RAIN WIPERS, DUAL POWER GLASS MIRRORS, ILLUMINATED ENTRY, MY KEY FEATURE, POWER TAILGATE, REMOTE KEYLESS. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	PKG	N/A	\$ 998.00000
00022	COMMODITY CODE: 5012-055-0103 OPTION, IGNITION KEY SET FOR THE ABOVE REFERENCED VEHICLE. (NO REMOTE) VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 70.00000
00023	COMMODITY CODE: 5012-055-0190 OPTION, SPOTLIGHT, 6" HALOGEN, POST- MOUNTED DRIVER'S SIDE FOR THE ABOVE REFERENCED VEHICLE, MAY BE DEALER INSTALLED. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026 BRAND: UNITY	1.000	EACH	N/A	\$ 265.00000
00024	COMMODITY CODE: 5012-055-0500 OPTION, DELIVERY TO LOCAL GOVERNMENT. ADD FOR DELIVERY OF ONE (1) VEHICLE TO A LOCAL GOVERNMENTAL UNIT. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 275.00000
00025	COMMODITY CODE: 5012-055-0501 OPTION, DELIVERY TO LOCAL GOVERNMENT. ADD FOR DELIVERY OF A MINIMUM OF TWO OR MORE VEHICLES TO A LOCAL GOVERNMENTAL UNIT. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 225.00000
00026	COMMODITY CODE: 5012-803-1095 TRUCK, FULL-SIZE PICKUP, 4X2, CREW CAB, WITH 6 1/2' BED	20.000	EACH	N/A	\$ 21,890.00000

BASIC UNIT TO INCLUDE:

- STANDARD SIZE PICKUP TRUCK AS
CLASSIFIED BY THE U.S. DEPARTMENT OF
ENERGY AND U.S. ENVIROMENTAL
PROTECTION AGENCY IN THEIR PUBLISHED
FUEL ECONOMY GUIDE

LINE#	DESCRIPTION/MFGR/BRAND	QUANTITY FROM/TO	UNIT	DISCOUNT	UNIT PRICE
00026	CONTINUED..... 2. ALL STANDARD EQUIPMENT, NO DELETIONS 3. ENGINE: V-8 (MIN.) FLEXIBLE FUEL 4. AUTOMATIC TRANSMISSION 5. TIRES: (5) ALL SEASON STEEL BELTED RADIALS, FRONT, REAR, AND SPARE TO MEET GVWR RATING 6. 4-WHEEL ANTI-LOCK BRAKES 7. SEATING: ALL VINYL, SPLIT BENCH TYPE 8. RADIO: AM/FM STEREO (MIN) 9. TINTED GLASS 10. INTERMITTENT WIPERS 11. DRIVER AND FRONT PASSENGER AIR BAGS 12. AIR CONDITIONING				
	MFR. ORDER CUTOFF DATE: DATE PENDING				
	NOTE: STATE OF ILLINOIS FY17 LAPSE FUNDING ORDERS MUST BE RECEIVED BY THE VENDOR NO LATER THAN X/XX/2017, SO THAT DELIVERY AND INVOICING MAY OCCUR PRIOR TO FISCAL YEAR DEADLINES.				
	DELIVERY TIME: 90 DAYS				
	STANDARD COLORS AVAILABLE: EXTERIOR INTERIOR				
	CARIBOU MEDIUM EARTH GRAY MAGNETIC BLUE JEAN METALLIC BLUE LIGHTNING SHADOW BLACK METALLIC INGOT SILVER METALLIC OXFORD WHITE RACE RED				
	VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026 BRAND: FORD MODEL: F150 SUPER CREW				
00027	COMMODITY CODE: 5012-055-0211 OPTION, 4-WHEEL DRIVE FOR THE ABOVE REFERENCED VEHICLE WITH THE EXTENDED CAB OPTION.	1.000	EACH	N/A	\$ 3,072.00000
	4X4 ELECTRONIC SHIFT ON THE FLY ESOF WITH NEUTRAL TOWING CAPACITY, P265/70R OWL ALL-TERRAIN TIRES A/T. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026				
00028	COMMODITY CODE: 5012-055-0131 OPTION, CRUISE CONTROL FOR THE ABOVE REFERENCED VEHICLE.	1.000	EACH	N/A	\$ 192.00000
	VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026				
00029	COMMODITY CODE: 5012-055-0129 OPTION, CLOTH INTERIOR IN LIEU OF VINYL INTERIOR FOR THE ABOVE REFERENCED VEHICLE.	1.000	EACH	N/A	N/C

CONTRACT ITEMS/SERVICES
BY LINE ITEM

T NUMBER: T6840
PAGE NO.: 00013

LINE#	DESCRIPTION/MFGR/BRAND	QUANTITY FROM/TO	UNIT	DISCOUNT	UNIT PRICE
00029	CONTINUED..... VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026				
00030	COMMODITY CODE: 5012-055-0133 OPTION, LIMITED SLIP TYPE REAR DIFFERENTIAL FOR THE ABOVE REFERENCED VEHICLE. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 358.00000
00031	COMMODITY CODE: 5012-055-0139 OPTION, STANDARD TOW PACKAGE TO BE FACTORY INSTALLED, TO INCLUDE 7-WIRE HARNESS AND CLASS IV (MIN.) HITCH RECEIVER. SMART TRAILER TOW CONNECTOR, 4-PIN AND 7-PIN WIRING, CLASS 5 HITCH RECEIVER. AUXILLARY TRANSMISSION OIL COOLER, UP GRADE FRONT STABILIZER BAR. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	PKG	N/A	\$ 422.00000
00032	COMMODITY CODE: 5012-055-0137 OPTION, SKID PLATE FOR THE ABOVE REFERENCED VEHICLE. 4X4 ONLY VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 137.00000
00033	COMMODITY CODE: 5012-055-0212 OPTION, POWER WINDOWS AND DOOR LOCKS FOR THE ABOVE REFERENCED VEHICLE WITH ANY EXTENDED CAB OPTION. AUTOLAMP AUTO ON/OFF HEADLAMPS WITH RAIN WIPERS, DUAL POWER GLASS MIRRORS, ILLUMINATED ENTRY, MY KEY FEATURE, POWER TAILGATE, REMOTE KEYLESS. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	PKG	N/A	\$ 998.00000
00034	COMMODITY CODE: 5012-055-0103 OPTION, IGNITION KEY SET FOR THE ABOVE REFERENCED VEHICLE. (NO REMOTE) VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 70.00000
00035	COMMODITY CODE: 5012-055-0500 OPTION, DELIVERY TO LOCAL GOVERNMENT. ADD FOR DELIVERY OF ONE (1) VEHICLE TO A LOCAL GOVERNMENTAL UNIT. VENDOR: WRIGHT AUTOMOTIVE INC : 11159 IL RT 185 CONTRACT NO: 4018026	1.000	EACH	N/A	\$ 275.00000
00036	COMMODITY CODE: 5012-055-0501 OPTION, DELIVERY TO LOCAL GOVERNMENT. ADD FOR DELIVERY OF A MINIMUM OF TWO OR	1.000	EACH	N/A	\$ 225.00000

CONTRACT ITEMS/SERVICES
BY LINE ITEM

T NUMBER: T6840
PAGE NO.: 00014

LINE#	DESCRIPTION/MFGR/BRAND	QUANTITY FROM/TO	UNIT	DISCOUNT	UNIT PRICE
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00036 CONTINUED.....
MORE VEHICLES TO A LOCAL GOVERNMENTAL
UNIT.

VENDOR: WRIGHT AUTOMOTIVE INC
: 11159 IL RT 185
CONTRACT NO: 4018026

WRIGHT AUTOMOTIVE

RICK CRUSE
Government Fleet Manager
(217) 827-4245

2017 Ford F-150 *Super Cab*

State of Illinois Contract 227781



4x2 \$20,040 • 4x4 \$22,737

CUT OFF DATE 03/16/2017

2017 Ford F-150 Super Cab

standard equipment



MECHANICAL

- 5.0L V8 with Flex-Fuel
- Axle, Front – Independent Front Suspension (IFS)
- Brakes – 4-Wheel Disc with ABS
- Electronic Six-Speed Automatic Transmission
- Springs, Front – Coil
- Springs, Rear – Leaf, Two-Stage Variable Rate
- Stabilizer Bar, Front
- Steering – Power, Rack-and-Pinion

EXTERIOR

- Bumper and Fascia, Front – Black
- Bumper, Rear – Black
- Cargo Lamp – integrated with Center High-mounted Stop Lamp (CHMSL)
- Easy Fuel® Capless Fuel-Filler
- Exhaust – Single Rear
- F-150 Fender Badge
- Fully Boxed Steel Frame
- Grille – Black Three Bar Style with Black Nostrils and Black Surround
- Halogen Headlamps
- Handles, Black – Door and Tailgate
- Hooks – Pickup Box Tie-Down, four (4)
- Hooks – Front Tow 4x4, two (2)
- Mirrors, Sideview – Manual-folding, Dual Manual Glass with Black Skull Caps
- Spare Tire/Wheel Lock
- Stone Cuffs, Front & Rear
- Tailgate – removable with key lock
- Tires – 265/70R 17 OWL all-terrain tires (A/T) 4x4
- Wheels – 17" Silver Steel
- Wipers – Intermittent speed

INTERIOR/COMFORT

- 1st Row Manual Windows
- Airbags – Driver and Passenger Front
- AM/FM Stereo
- Black Vinyl Floor Covering
- Dome Light
- Fade-to-Off Interior Lighting
- Gauges and Meters – Fuel, Oil Pressure, Transmission Temperature and Engine Coolant Temperature Gauges; Speedometer, Odometer and Tachometer
- Grab Handles – Front – A-Pillar, Driver and Passenger Side
- Horn – Dual Note
- Illuminated Entry
- Manual Air Conditioning, Single Zone
- Manual Locks
- Outside Temperature Display
- Powerpoint 12V – Front
- Rear Window with Fixed Glass and Solar Tint
- Rearview Mirror, Day/Night
- Scuff Plate, Driver and Front-Passenger Doors
- Seat, Front – Cloth 40/20/40
- Seat Belts, Active Restraint System (ARS)
- Steering Wheel, Black Urethane – Manual Tilt/Telescoping and Manual Locking
- Tire Pressure Monitoring System (TPMS)
- Visor, Driver Side; Visor with Mirror, Passenger Side

Fuel Tanks

- Standard Range 23-Gallon

2017 Ford F-150

Super Cab



option list

<input type="checkbox"/>	8-foot Bed For Super Cab	\$333		<input type="checkbox"/>	54R/59S HEATED MIRRORS/LED SPOTS	\$475.00
<input checked="" type="checkbox"/>	99M-3.5L V6 FFV (N/A w/long bed).....	(\$500)		<input type="checkbox"/>	655-Ext. Range Tank	\$180
<input checked="" type="checkbox"/>	50S-Cruise Control	\$192		<input type="checkbox"/>	63T-Tailgate Step.....	\$375
<input type="checkbox"/>	68P SNOW PLOW PREP	\$ 50.00		<input type="checkbox"/>	85H-Back-Up Alarm	\$120
<input type="checkbox"/>	XL3 3.31 Limited Slip (V8 Only).....	\$358		<input type="checkbox"/>	67T-Trailer Brake Control, Reg 53A Tow Pk.....	\$260
<input checked="" type="checkbox"/>	53A-Tow Package.....	\$422		<input checked="" type="checkbox"/>	76R-Reverse-Sensing	REG TOW PK \$260
<input checked="" type="checkbox"/>	Extra Key	\$70		<input type="checkbox"/>	68P-Snow Plow Prep	\$50
<input checked="" type="checkbox"/>	85A-Power Windows (Super Cab).....	\$998		<input type="checkbox"/>	57Q-Rear Window Defroster W/ PRIVACY GLASS	\$300
<input type="checkbox"/>	413-Skid Plates (4x4 Only)	\$137		<input type="checkbox"/>	435-Power Sliding Window	\$400
<input type="checkbox"/>	153-License Bracket.....	N/C		<input type="checkbox"/>	942-Daytime Running Lights	\$42
<input type="checkbox"/>	168-Carpet Floor Mats	\$150		<input type="checkbox"/>	41H-Engine Block Heater	\$90
<input type="checkbox"/>	47R-Rubber Floor Mats.....	\$100		<input type="checkbox"/>	Front and Rear Mud Flaps, Flat	\$150
<input type="checkbox"/>	16G-Vinyl Flooring, Black.....	N/C		<input type="checkbox"/>	4 Corner Strobes (LED).....	\$660
<input checked="" type="checkbox"/>	76C-Rear View Cam, Reg 85A Power Group.....	\$240		<input checked="" type="checkbox"/>	Delivery, 1 Unit	\$275
<input type="checkbox"/>	86A-Chrome Package	\$750		<input type="checkbox"/>	Delivery, 2 or More	\$225
<input type="checkbox"/>	58B-Single CD with AM/FM Radio.....	\$280		<input type="checkbox"/>	Title	\$95
<input checked="" type="checkbox"/>	96W-Spray-In Bed Liner	\$475		<input type="checkbox"/>	Doc Fee/CVR	\$125
<input type="checkbox"/>	63S-Bed Step.....	\$320		<input type="checkbox"/>	Transfer Plates	\$25
<input type="checkbox"/>	18B-Running Boards, Black Flat.....	\$250		<input type="checkbox"/>	New Plates, Passenger	\$101
<input type="checkbox"/>	52B-Sync.....REG 50S CRUISE CONTROL	\$400		<input type="checkbox"/>	Sheriff Plates.....	\$10
<input checked="" type="checkbox"/>	Spot Light	\$265		<input type="checkbox"/>	M Plates	\$10
<input type="checkbox"/>	58C-Sirius/XM Satellite.....	\$480		<input type="checkbox"/>	MP Plates.....	\$10

2017 Ford F-150

Super Cab

color options



EXTERIOR

- PQ–Race Red N/C
- N6 –Blue lightning.....N/C
- H5–Caribou N/C
-
- N1–Blue Jean Metallic N/C
- G1 –SHADOW Black Metallic.....N/C
- J7–Magnetic N/C
- UX–Ingot Silver Metallic..... N/C
- YZ–Oxford White..... N/C

INTERIOR

- AG–Medium Earth Gray, VinylN/C
- CG–Medium Earth Gray, Cloth.....N/C

Request For Board Action

REFERRED TO BOARD: September 6, 2016

AGENDA ITEM NO: 5

ORIGINATING DEPARTMENT: Police

SUBJECT: Approval of a Resolution Authorizing the Village Manager to Execute the Amendment and Extension of the Agreement with American Traffic Solutions, Inc. for a Police Red Light Camera System

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

The Village entered into an agreement with American Traffic Solutions, Inc. (ATS) in February, 2009 to provide a “police red light camera” automated traffic enforcement system for the east bound Touhy Avenue at Lincoln Avenue traffic signal. ATS has honored its agreement. As a result of the system, compliance with traffic laws has increased, the number of motor vehicle traffic crashes has been reduced and traffic safety has improved.

The attached amendment and extension is required for American Traffic Solutions to evaluate and recommend additional approaches for automated traffic enforcement systems. The fee for the current system remains unchanged.

FINANCIAL IMPACT:

1. \$4,400 per month, plus 30% of Unpaid Fees Recovered by ATS Collections

DOCUMENTS ATTACHED:

1. Proposed Resolution
2. Amendment and Extension of the Agreement with American Traffic Solutions
3. Photographs of Recent Violations

RECOMMENDED MOTION:

Move to approve a Resolution authorizing the Village Manager to execute the amendment and extension of the agreement with American Traffic Solutions, Inc. for a police red light camera system.

VILLAGE OF LINCOLNWOOD

RESOLUTION NO. R2016-_____

A RESOLUTION AUTHORIZING THE AMENDMENT AND EXTENSION OF THE AGREEMENT WITH AMERICAN TRAFFIC SOLUTIONS, INC. FOR A POLICE RED LIGHT CAMERA SYSTEM

WHEREAS, on February 20, 2009, the Village entered into a "Contract for Police Red Light Camera System" ("**Agreement**") with American Traffic Solutions, Inc. ("**ATS**") for ATS to provide, maintain, and operate a red light camera system in the Village; and

WHEREAS, the term of the Agreement was for 42 months commencing on the date of execution of the Agreement; and

WHEREAS, pursuant to Section 3 of the Agreement, the Village and ATS have extended the term of the Agreement for three additional one-year periods; and

WHEREAS, the Village and ATS now desire to amend the Agreement to update and clarify certain provisions, and to extend the term of the Agreement for an additional five-year period ("**Amendment**"); and

WHEREAS, the Village President and Board of Trustees have determined that entering into the Amendment to the Agreement with ATS will serve and be in the best interest of the Village;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

SECTION 2. APPROVAL OF AMENDMENT TO THE AGREEMENT. The Amendment to the Agreement by and between the Village and ATS is hereby approved in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the Village Manager and the Village Attorney.

SECTION 3. EXECUTION OF AMENDMENT TO THE AGREEMENT. The Village Manager and the Village Clerk are hereby authorized and directed to execute and attest, on behalf of the Village, the Amendment to the Agreement upon receipt by the Village Clerk of at least one original copy of the Amendment executed by ATS; provided, however, that if the executed copy of the Amendment is not received by the Village Clerk within 30 days after the effective date of this Resolution, then this authority to execute and attest will, at the option of the President and Board of Trustees, be null and void.

SECTION 4. EFFECTIVE DATE. This Resolution will be in full force and effect from and after its passage and approval as provided by law.

PASSED this ___ day of _____, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTENTION: _____

APPROVED by me this _____ day of _____, 2016.

Lawrence Elster, President Pro Tem
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
_____ day of _____, 2016

Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

#25458795_v4

EXHIBIT A

Amendment

**AMENDMENT
CONTRACT FOR POLICE RED LIGHT CAMERA SYSTEM**

This Amendment ("Amendment") is dated effective this ___ day of _____, 2016 (the "Amendment Effective Date") and is entered into between American Traffic Solutions, Inc. (herein "Bidder"), a corporation duly registered under the laws of the State of Kansas with its principal place of business at 1150 N. Alma School Road, Mesa, AZ 85201 and the Village of Lincolnwood (herein the "Village"), an Illinois home rule municipal corporation, with principal offices at 6900 North Lincoln Avenue, Lincolnwood, Illinois 60712.

RECITALS

WHEREAS, on February 20, 2009, the Village and Bidder entered into a Contract for Police Red Light Camera System for the Village's use of the Axis™ System to enforce traffic violations (together the "Contract"); and

WHEREAS, Section 8.G of the Contract requires any amendments, modifications, or alterations of the Contract to be in writing and duly executed by the parties; and

WHEREAS, the Village and Bidder mutually desire to amend, modify or alter certain terms and conditions of the Contract.

TERMS AND CONDITIONS

NOW THEREFORE, in consideration of the mutual covenants and promises contained in this Amendment, the Village and Bidder do hereby agree as set forth below:

1. The above recitals are true and correct and are incorporated herein.
2. Subsection 2.A, SCHEDULE OF PRICES, is hereby deleted in its entirety and replaced with the following:

"A. Schedule of Prices. To provide a turnkey Red Light Camera System as described in this Contract, the following fees shall apply:

<u>Item</u>	<u>Fee</u>
Red Light Cameras installed prior to the Amendment Effective Date	Monthly Fee Per Approach \$4,400
Red Light Cameras installed after the Amendment Effective Date monitoring images for up to 2 lanes	Monthly Fee Per Approach \$4,250
Red Light Cameras installed after the Amendment Effective Date monitoring	Monthly Fee Per Approach

images for up to 4 lanes	\$4,750
Delinquent collections of unpaid fines	30% of delinquent fines collected.

The Monthly Fee Per Approach shall include: image processing, data entry, in-state registered owner acquisition, NLETS out-of-state registered owner acquisition; final quality control review, access to web-based Axis™ VPS for Police Review, 1st notice printing in color, first class postage and mailing, electronic notice file transmission to court system, evidence packages for scheduled hearing, and lockbox payment processing services.

Early Termination Fee. Village shall pay Bidder an early termination fee (“Early Termination Fee”) upon the termination of this Contract based on a price of \$50,000 for each new Approach that is installed after the Amendment Effective Date, amortized over thirty-six (36) months on a straight-line basis. The amortization schedule for the costs shall be reduced by 1/36th for each month each Approach is installed. Said another way, for every month an Approach is installed, \$1,388.89 will be subtracted from the total \$50,000 Early Termination Fee for each installed Approach. Example: Village installs one (1) Approach twenty (20) months after this Amendment is entered into. Thirty (30) months after the Amendment Effective Date, Bidder terminates the Contract for uncured breach by the Village. Ten (10) of the thirty-six (36) months having been depreciated, the Village would owe Bidder \$36,111.14 ($\$1,388.89 \times 26$) for the Early Termination Fee. The Early Termination Fee may be paid in monthly installments of \$1,388.89 per Approach per month. The Early Termination Fee shall apply pursuant to any termination of this Contract, including as a result of the end of the term of this Contract; provided, however, the Early Termination Fee shall not apply to a termination of this Contract by the Village pursuant to Section 8.O.”

3. Subsection 2.B(1), is hereby deleted in its entirety and replaced with the following:

“1. All prices stated in the Schedule of Prices are firm and shall not be subject to escalation or change, except that the Monthly Fee Per Approach will be fixed for the first thirty-six (36) months after the Amendment Effective Date for Red Light Cameras installed after the Amendment Effective Date, and that each year thereafter the Monthly Fee Per Approach shall be adjusted to conform with the percentage increase in the Consumer Price Index, defined as Consumer Price Index- All Urban Consumers for the Chicago-Gary-Kenosha Metropolitan Statistical Area (“CPI-U”), for the previous twelve (12) month period.”

4. Section 3, CONTRACT TIME PROPOSAL, is hereby deleted in its entirety and replaced with the following:

“The term of this Contract commenced on February 20, 2009 ("Commencement Date"), and shall continue until August 20, 2021. However, this Contract may be renewed, upon the terms and conditions herein including without limitation the Schedule of Prices in Subsection 2.A of this Contract, for additional one year periods following notice from

Bidder that it desires to renew the Contract not less than 90 days prior to the expiration of the initial term or any then current term.”

5. Subsection 4.B., INDEMNIFICATION, is hereby deleted in its entirety and replaced with the following:

“B. Indemnification.

(i) Indemnification by ATS. Bidder shall indemnify, save harmless, and defend Village against all damages, liability, claims, losses, and expenses (including attorneys' fees) that may arise out of or in connection with Bidder's performance of, or failure to perform, the Services or any part thereof due in whole or in part to the active, passive, or concurrent negligence or fault of the Bidder, except to the extent caused by the negligence of or the intentional willful or wanton act of the Village or its employees, agents, or authorized representatives, or any failure to meet the representations and warranties set forth in Section 6 of this Contract.

(ii) Indemnification Procedures. In the event of any claim, action or demand (“Claim”) in respect of which any Party hereto seeks indemnification from the other, the Party seeking indemnification (the "Indemnified Party") shall give the Party from whom indemnification is sought (the "Indemnifying Party") written notice of such Claim promptly after the Indemnified Party first becomes aware thereof; provided, however, that failure to give such notice shall not preclude indemnification with respect to such Claim except to the extent of any additional or increased Losses or other actual prejudice directly caused by such failure. The Indemnifying Party and the Indemnified Party shall cooperate in the defense or settlement of any Claim and no Party shall have the right to enter into any settlement agreement that materially affects the other Party's material rights or material interests without such Party's prior written consent, which consent shall not be unreasonably withheld or delayed.”

6. Subsection 4.C., PENALTIES, is hereby deleted in its entirety and replaced with the following:

Penalties. Subject to Section 4.B. above, Bidder shall be liable for any fines or civil penalties that are imposed by any governmental or quasi-governmental agency or body that may arise, or be alleged to have arisen, out of or in connection with Bidder's performance of, or failure to perform, the Services or any part thereof.

6. Subsection 8.D., REMEDIES, is hereby amended by amended by (i) adding “Subject to Subsection 4.C.,” immediately after the title “Remedies.” and (ii) changing the time period to cure an Event of Default from “five (5) business days” to “twenty (20) calendar days”.

7. Subsection 8.H., ASSIGNMENT, is hereby deleted in its entirety and replaced with the following:

“H. Assignment. Neither Party may assign all or any portion of this Contract without the prior written consent of the other, which consent shall not be unreasonably withheld or delayed. However, ATS may sell, assign, transfer or convey any interest in this Contract

in whole or in part, upon written notice to the Village, without the written consent of the Village (i) to assign accounts to another ATS entity for business financing purposes or (ii) to assign the entire Contract to an entity controlled by, controlling or under the common control of ATS. The Village's prior written approval shall not be required for assignments of accounts, as defined in the Illinois Commercial Code, if to do so would violate Section 9-318 of the Illinois Commercial Code, 810 ILCS 5/9-318."

8. Subsection 8.O., TERMINATION FOR CAUSE, is hereby modified by adding the following:

"In the event of a termination of this Contract as a result of either Section 8.O(i) or (ii), then if the event that was the cause for termination is subsequently reversed or nullified within twenty-four months of such termination, whether as a result of a legislative or judicial act, then the Parties agree to resume the automated red light photo enforcement program on substantially the same terms as set forth in the Contract, except that (a) the term of the Contract shall be extended by the time period that the program was suspended as a result of either Section 8.O(i) or (ii) and (b) all prices in the Schedule of Prices shall be adjusted to conform with the percentage increase in the CPI-U for the period of time that the program was suspended, except as provided for in Section 2.B(1). For the avoidance of doubt, if event that was the cause of termination in the preceding sentence is not reversed or nullified within twenty-four months of such termination, this Contract shall be terminated with no obligation of either Party to resume the automated red light photo enforcement program."

9. Subsection 8.U., NOTICES, is hereby modified to replace the address for Bidder with the following new address:

"American Traffic Solutions, Inc.
1150 N. Alma School Road
Mesa, AZ 85201
Attn: David Roberts, President and Chief Operating Officer

with a copy to:

American Traffic Solutions, Inc.
1150 N. Alma School Road
Mesa, AZ 85201
Attn: Legal Dept. – Contracts Division"

10. Subsection 15.1. of Exhibit A is hereby deleted in its entirety with effect to the original date of the Contract as if such provision had never been included in the Contract.

11. Subsection 19.3. of Exhibit A is hereby amended by deleting the following:

“All subcontractors used by Bidder shall be acceptable to, and approved in advance by, the Village.”

12. The provisions of this Amendment, including the recitals, comprise all of the terms, conditions, agreements, and representations of the parties with respect to the subject matter hereof. All representations and promises made by any party to another, whether in writing or orally, concerning the subject matter of this Amendment are merged into this Amendment. Except as expressly amended or modified by the terms of this Amendment, all terms of the Contract shall remain in full force and effect. In the event of a conflict between the terms of this Amendment and the Contract, the terms of this Amendment shall prevail and control.

13. This Amendment may be executed in one or more counterparts, each of which shall constitute an original, but all of which taken together shall constitute one and the same instrument. Each party represents and warrants that the representative signing this Amendment on its behalf has all right and authority to bind and commit that party to the terms and conditions of this Amendment.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties hereto have executed this Amendment effective as of the date first written above.

VILLAGE OF LINCOLNWOOD

By:

Village Manager

Date

ATTEST:

By:

Village Clerk

Date

AMERICAN TRAFFIC SOLUTIONS, INC.

By:

David M. Roberts, President

Date

ATTEST:

By:

Name, Title

Date

DATE	TIME	SPEED	PHASE	RTIME	LANE	FRAME
08/07/2016	01:48:17.6 PM	021	R	002.2	4	B

LI01-EB W TOUHY AVE @ N LINCOLN AVE



August 7, 2016

1:48 PM

Red Light Signal Violation

Right Turn Eastbound Touhy at Lincoln

Motorist Fails to Yield to Bicyclist

21 MPH in a 35 MPH Zone

DATE TIME SPEED PHASE RTIME LANE FRAME
08/11/2016 09:52:16.9 PM 073 R 000.9 2 B
LI01-EB W TOUHY AVE @ N LINCOLN AVE



August 11, 2016
9:52 PM
Red Light Signal Violation
Eastbound Touhy at Lincoln
73 MPH in a 35 MPH Zone

DATE TIME SPEED PHASE RTIME LANE FRAME
07/26/2016 09:52:18.9 PM 070 R 001.0 3 B
LI01-EB W TOUHY AVE @ N LINCOLN AVE



July 26, 2016
9:52 PM
Red Light Signal Violation
Eastbound Touhy at Lincoln
70 MPH in a 35 MPH Zone

Request for Board Action

REFERRED TO BOARD: September 6, 2016

AGENDA ITEM NO: 6

ORIGINATING DEPARTMENT: Public Works

SUBJECT: Approval of a Resolution to Award a Contract to Patrick McCann, Inc. of Geneva, Illinois for the Replacement of Windows at the Fire Station in the Amount of \$39,162

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

The windows at the Fire Station are original to the facility and are beginning to fail. In recent years, the windows have experienced leaks and many of the hardware pieces are no longer operational, leaving the windows immobile. The windows in the tower are opened to allow airflow while the hoses are drying and as a training tool allowing Firefighters to practice ingress and egress techniques. Replacement of the windows was included in the Fiscal Year 2016/17 Annual Budget and will include the replacement of 44 windows. The windows at the top of the tower were replaced two years ago.

On July 21, 2016 a bid notice was published in the *Lincolnwood Review* and the *Dodge Report*. A mandatory pre-bid meeting and walk through was held on August 2, 2016 and it was attended by five potential bidders. On August 16, 2016 five sealed bids were received. The following table displays the bids received:

Vendor	Total Contract Price
Patrick McCann, Inc.	\$39,162.00
A. Lukan Contractors	\$44,487.00
Redmond Construction	\$45,624.28
All American Exterior Solutions	\$46,521.00
LaPelusa Home Improvements	\$69,960.00

The apparent lowest bid was submitted by Patrick McCann, Inc. The request for proposals stated that Pella windows were preferred; however, alternates would be considered. Patrick McCann, Inc. has informed staff that they are proposing windows manufactured by Weather Shield. The appearance will match the colors specified in the request for proposals. Staff has reviewed the proposed windows and believes they are of a significantly similar quality to those specified in the request for proposals and recommends the alternate be accepted.

Staff has contacted the references for Patrick McCann, Inc. and all provided a positive response. For the reasons outlined above, staff is recommending Patrick McCann, Inc. as the lowest responsible bidder.

FINANCIAL IMPACT:

\$40,000 has been budgeted in the fiscal year 2016/2017 Building Maintenance Budget for the replacement of windows at the Fire Station.

DOCUMENTS ATTACHED:

1. Proposed Resolution
2. Proposed Contract/Proposal

RECOMMENDED MOTION:

Move to approve a Resolution approving a contract with Patrick McCann, Inc. of Geneva, Illinois for the replacement of windows at the Fire Station.

VILLAGE OF LINCOLNWOOD

RESOLUTION NO. R2016-_____

**A RESOLUTION APPROVING A CONTRACT WITH
PATRICK MCCANN, INC OF GENEVA, ILLINOIS
FOR THE REPLACEMENT OF FIRE STATION WINDOWS**

WHEREAS, the Village sought proposals for the award of a contract for the replacement of windows at the Fire Station ("*Contract*"); and

WHEREAS, Patrick McCann, Inc. of Geneva, Illinois ("*Patrick McCann*"), was the low responsible vendor of the firms that submitted proposal packages to the Village; and

WHEREAS, the Village President and Board of Trustees have determined that entering into the Contract with Patrick McCann will serve and be in the best interest of the Village;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

SECTION 2. APPROVAL OF CONTRACT. The Contract by and between the Village and Patrick McCann shall be, and is hereby, approved in substantially the form attached to this Resolution as **Exhibit A**.

SECTION 3. EXECUTION OF CONTRACT. The Village Manager and the Village Clerk shall be, and they are hereby, authorized and directed to execute and attest, on behalf of the Village, the Contract upon receipt by the Village Clerk of at least one original copy of the Contract executed by Globe Construction; provided, however, that if the executed copy of the Contract is not received by the Village Clerk within 60 days after the effective date of this Resolution, then this authority to execute and attest shall, at the option of the President and Board of Trustees, be null and void.

SECTION 4. EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

[SIGNATURE PAGE FOLLOWS]

PASSED this ____ day of _____, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTENTION: _____

APPROVED by me this ____ day of _____, 2016.

Lawrence Elster, President Pro Tem
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
____ day of _____, 2016

Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

EXHIBIT A

CONTRACT

VILLAGE OF LINCOLNWOOD
CONTRACT/PROPOSAL FOR THE
REPLACEMENT OF FIRE STATION WINDOWS

Full Name of Bidder Patrick McCann, Inc. (“*Bidder*”)
Principal Office Address 701 Hawthorne Lane, Geneva, IL 60134
Local Office Address Same
Contact Person Patrick McCann Telephone Number 630-209-2616

TO: Village of Lincolnwood (“*Village*”)
7001 N. Lawndale Ave.
Lincolnwood, Illinois 60712
Attention: Andrew Letson
Assistant to the Public Works Director

Bidder warrants and represents that Bidder has carefully examined the Work Site described below and has reviewed and understood all documents included, referred to, or mentioned in this bound set of documents, including Addenda Nos. None [if none, write “NONE”], which are securely stapled to the end of this Contract/Proposal.

1. Work Proposal

A. Contract and Work. If this Contract/Proposal is accepted, Bidder proposes, and agrees, that Bidder shall, at its sole cost and expense, provide, perform, and complete, in the manner specified and described, and upon the terms and conditions set forth, in this Contract/Proposal and the Village’s written notification of acceptance in the form included in this bound set of documents, all of the following, all of which is herein referred to as the “Work”:

1. Labor, Equipment, Materials, and Supplies. Provide, perform, and complete, in the manner specified and described in this Contract/Proposal, all necessary work, labor, services, transportation, equipment, materials, supplies, information, data, and other means and items necessary for the replacement of windows at the Lincolnwood Fire Station, 6900 N. Lincoln Avenue (“*Work Site*”);
2. Permits. Procure and furnish all permits, licenses, and other governmental approvals and authorizations necessary in connection therewith. A building permit is required for this work and the Bidder shall be responsible for obtaining said permit. In addition, the bidder must be licensed to perform work within the Village;

3. Insurance. Procure and furnish all insurance certificates and policies of insurance specified in this Contract/Proposal;
4. Taxes. Pay all applicable federal, state, and local taxes;
5. Miscellaneous. Do all other things required of Bidder by this Contract/Proposal; and
6. Quality. Provide, perform, and complete all of the foregoing in a proper and workmanlike manner, consistent with the standards of recognized professional firms in performing Work of a similar nature, in full compliance with, and as required by or pursuant, to this Contract/Proposal, and with the greatest economy, efficiency, and expedition consistent therewith, with only new, undamaged, and first quality equipment, materials, and supplies.

B. Performance Standards. If this Contract/Proposal is accepted, Bidder proposes, and agrees, that all Work shall be fully provided, performed, and completed in accordance with the specifications attached hereto and by this reference made a part of this Contract/Proposal.

C. Responsibility for Damage or Loss. Bidder proposes, and agrees, that Bidder shall be responsible and liable for, and shall promptly and without charge to Village repair or replace, any damage done to, and any loss or injury suffered by, the Village, the Work, the Work Site, or other property or persons as a result of the Work.

D. Inspection/Testing/Rejection. Village shall have the right to inspect all or any part of the Work and to reject all or any part of the Work that is, in Village's judgment, defective or damaged or that in any way fails to conform strictly to the requirements of this Contract/Proposal and the Village, without limiting its other rights or remedies, may require correction or replacement at Bidder's cost, perform or have performed all Work necessary to complete or correct all or any part of the Work that is defective, damaged, or nonconforming and charge Bidder with any excess cost incurred thereby, or cancel all or any part of any order or this Contract/Proposal. Work so rejected may be returned or held at Bidder's expense and risk.

2. Contract Price Proposal

If this Contract/Proposal is accepted, Bidder proposes, and agrees, that Bidder shall take in full payment for all Work and other matters set forth under Section 1 above, including overhead and profit; taxes, contributions, and premiums; and compensation to all subcontractors and suppliers, the compensation set forth below.

A. SCHEDULE OF PRICES

For providing, performing, and completing all Work, the sum of products resulting from multiplying the number of acceptable units of Unit Price Items listed in Attachment B: Schedule of Prices.

B. BASIS FOR DETERMINING PRICES

It is expressly understood and agreed that:

1. All prices stated in the Schedule of Prices are firm and shall not be subject to escalation or change;
2. The Village is not subject to state or local sales, use, and excise taxes, that no such taxes are included in the Schedule of Prices, and that all claim or right to claim any additional compensation by reason of the payment of any such tax is hereby waived and released;
3. All other applicable federal, state, and local taxes of every kind and nature applicable to the Work are included in the Schedule of Prices; and
4. The approximate quantities set forth in the Schedule of Prices for each Unit Price Item are the Village's estimate only, that the Village reserves the right to increase or decrease such quantities, that payment for each Unit Price Item shall be made only on the actual number of acceptable units of such Unit Price Item installed complete in

place in full compliance with this Contract/Proposal, and that all claim or right to dispute or complain of any such estimated quantity, or to assert that there was any misunderstanding in regard to the nature or amount of any Unit Price Item to be provided or performed, is hereby waived and released.

C. TIME OF PAYMENT

It is expressly understood and agreed that all payments shall be made in accordance with the following schedule:

Bidder shall submit invoices in an approved format to the Village for all Work accepted by the Village. Bidder must submit all appropriate waivers and prevailing wage certifications along with the invoice. The Village shall pay to the Bidder the amount billed within 45 days after receiving each invoice.

All payments may be subject to deduction or setoff by reason of any failure of Bidder to perform under this Contract/Proposal. Each payment shall include Bidder's certification of the value of, and partial or final waivers of lien covering, all Work for which payment is then requested and Bidder's certification that all prior payments have been properly applied to the payment or reimbursement of the costs with respect to which they were paid.

3. Contract Time Proposal

If this Contract/Proposal is accepted, Bidder proposes, and agrees, that Bidder shall commence the Work within 10 days following the Village's acceptance of this Contract/Proposal provided Bidder shall have furnished to the Village all insurance certificates specified in this Contract/Proposal ("**Commencement Date**"). If this Contract/Proposal is accepted, Bidder proposes, and agrees, that Bidder shall perform the Work diligently and continuously and shall complete the Work not later than **October 31, 2016** ("**Time of Performance**"). The Village may modify the Time of Performance at any time upon 15 days prior written notice to the Bidder. Delays caused by the Village shall extend the Time of Performance.

4. Financial Assurance

A. Bonds. If this Contract/Proposal is accepted, Bidder proposes, and agrees, that Bidder shall provide a Performance Bond and a Labor and Material Payment Bond, on forms provided by, or otherwise acceptable to, the Village, from a surety company acceptable to the Village, each in the penal sum of the Contract Price, within 10 days following the Village's acceptance of this Contract/Proposal.

B. Insurance. If this Contract/Proposal is accepted, Bidder proposes, and agrees, that Bidder shall provide certificates of insurance evidencing the minimum insurance coverages and limits set forth below within 10 days following the Village's acceptance of this Contract/Proposal. Such policies shall be in form, and from companies, acceptable to the Village. The insurance coverages and limits set forth below shall be deemed to be minimum coverages and limits and shall not be construed in any way as a limitation on Bidder's duty to carry adequate insurance or on Bidder's liability for losses or damages under this Contract/Proposal. The minimum insurance coverages and limits that shall be maintained at all times while providing, performing, or completing the Work are as follows:

1. Workers' Compensation and Employer's Liability

Limits shall not be less than:

Worker's Compensation: Statutory

Employer's Liability: \$500,000 ea. accident-injury
\$500,000 ea. employee-disease
\$500,000 disease-policy

Such insurance shall evidence that coverage applies to the State of Illinois.

2. Comprehensive Motor Vehicle Liability

Limits for vehicles owned, non-owned or rented shall not be less than:

\$1,000,000 Bodily Injury and Property Damage Combined Single Limit

3. Comprehensive General Liability

Limits shall not be less than:

\$1,000,000 Bodily Injury and Property Damage Combined Single Limit.

Coverage is to be written on an "occurrence" basis.

Coverage to include:

- Premises Operations
- Products/Completed Operations
- Independent Contractors
- Personal Injury (with Employment Exclusion deleted)
- Broad Form Property Damage Endorsement
- "X," "C," and "U"
- Contractual Liability

Contractual Liability coverage shall specifically include the indemnification set forth below.

4. Umbrella Liability

Limits shall not be less than:

\$2,000,000 Bodily Injury and Property Damage Combined Single Limit.

This Policy shall apply in excess of the limits stated in 1, 2, and 3 above.

C. Indemnification. If this Contract/Proposal is accepted, Bidder proposes, and agrees, that Bidder shall indemnify, save harmless, and defend the Village against all damages, liability, claims, losses, and expenses (including attorneys' fee) that may arise, or be alleged to have arisen, out of or in connection with Bidder's performance of, or failure to perform, the Work or any part thereof, or any failure to meet the representations and warranties set forth in Section 6 of this Contract/Proposal.

D. Penalties. If this Contract/Proposal is accepted, Bidder proposes, and agrees, that Bidder shall be solely liable for any fines or civil penalties that are imposed by any governmental or quasi-governmental agency or body that may arise, or be alleged to have arisen, out of or in connection with Bidder's performance of, or failure to perform, the Work or any part thereof.

5. Firm Proposal

All prices and other terms stated in this Contract/Proposal are firm and shall not be subject to withdrawal, escalation, or change provided the Village accepts this Contract/Proposal within 45 days after the date this sealed Agreement is opened.

6. Bidder's Representations and Warranties

In order to induce the Village to accept this Contract/Proposal, Bidder hereby represents and warrants as follows:

A. The Work. The Work, and all of its components, shall strictly conform to the requirements of this Contract/Proposal, including, without limitation, the performance standards set forth in Subsection 1B of this Contract/Proposal; and shall be fit, sufficient, and suitable for the purposes expressed in, or reasonably inferred from, this Contract/Proposal and the warranties expressed herein shall be in addition to any other warranties expressed or implied by law, which are hereby reserved unto the Village.

B. Compliance with Laws. The Work, and all of its components, shall be provided, performed, and completed in compliance with, and Bidder agrees to be bound by, all

applicable federal, state, and local laws, orders, rules, and regulations, as they may be modified or amended from time to time, including without limitation the Prevailing Wage Act, 820 ILCS 130/0.01 et seq. (in furtherance of which, a copy of Village's ordinance ascertaining the prevailing rate of wages, in effect as of the date of this Contract/Proposal, has been attached as an Appendix to this Contract/Proposal; if the Illinois Department of Labor revises the prevailing rate of hourly wages to be paid, the revised rate shall apply to this Contract); any other prevailing wage laws; any statutes requiring preference to laborers of specified classes; any statutes prohibiting discrimination because of, or requiring affirmative action based on, race, creed, color, national origin, age, sex, or other prohibited classification; and any statutes regarding safety or the performance of the Work. Further, Bidder shall have a written sexual harassment policy in compliance with Section 2-105 of the Illinois Human Rights Act during the course of the work.

C. Not Barred. Bidder is not barred by law from contracting with the Village or with any other unit of state or local government as a result of (i) a delinquency in the payment of any tax administered by the Illinois Department of Revenue unless Bidder is contesting, in accordance with the procedures established by the appropriate Revenue Act, its liability for the tax or the amount of tax, as set forth in 65 ILCS 5/11-42.1-1; or (ii) a violation of either Section 33E-3 or Section 33E-4 of Article 33 of the Criminal Code of 1961, 720 ILCS 5/33E-1 et seq.

D. Qualified. Bidder has the requisite experience, ability, capital, facilities, plant, organization, and staff to enable Bidder to perform the Work successfully and promptly and to commence and complete the Work within the Contract Price and Contract Time Proposals set forth above.

7. Acknowledgements

In submitting this Contract/Proposal, Bidder acknowledges and agrees that:

A. Reliance. The Village is relying on all warranties, representations, and statements made by Bidder in this Contract/Proposal.

B. Reservation of Rights. The Village reserves the right to reject any and all proposals, reserves the right to reject the low price proposal, and reserves such other rights as are set forth in the Instructions to Bidders.

C. Acceptance. If this Contract/Proposal is accepted, Bidder shall be bound by each and every term, condition, or provision contained in this Contract/Proposal and in the Village's written notification of acceptance in the form included in this bound set of documents.

D. Remedies. Each of the rights and remedies reserved to the Village in this Contract/Proposal shall be cumulative and additional to any other or further remedies provided in law or equity or in this Contract/Proposal.

E. Time. Time is of the essence in the performance of all terms and provisions of this Contract/Proposal and, except where stated otherwise references in this Contract/Proposal to days shall be construed to refer to calendar days and time.

F. No Waiver. No examination, inspection, investigation, test, measurement, review, determination, decision, certificate, or approval by the Village, whether before or after the Village's acceptance of this Contract/Proposal; nor any information or data supplied by the Village, whether before or after the Village's acceptance of this Contract/Proposal; nor any order by the Village for the payment of money; nor any payment for, or use, possession, or acceptance of, the whole or any part of the Work by the Village; nor any extension of time granted by the Village; nor any delay by the Village in exercising any right under this Contract/Proposal; nor any other act or omission of the Village shall constitute or be deemed to be an acceptance of any defective, damaged, or nonconforming Work, nor operate to waive or otherwise diminish the effect of any representation or warranty made by Bidder; or of any requirement or provision of this Contract/Proposal; or of any remedy, power, or right of the Village.

G. Severability. It is hereby expressed to be the intent of the parties to this Contract/Proposal that should any provision, covenant, agreement, or portion of this Contract/Proposal or its application to any Person or property be held invalid by a court of competent jurisdiction, the remaining provisions of this Contract/Proposal and the validity, enforceability, and application to any Person or property shall not be impaired thereby, but the remaining provisions shall be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Contract/Proposal to the greatest extent permitted by applicable law.

H. Amendments and Modifications. No amendment or modification to this Contract/Proposal shall be effective until it is reduced to writing and approved and executed by the corporate authorities of the parties in accordance with all applicable statutory procedures.

I. Assignment. Neither this Contract/Proposal, nor any interest herein, shall be assigned or subcontracted, in whole or in part, by Bidder except upon the prior written consent of the Village.

J. Governing Law. This Contract/Proposal shall be governed by, construed and enforced in accordance with the internal laws, but not the conflicts of laws rules, of the State of Illinois.

K. Certified Payrolls. Bidder shall, in accordance with Section 5 of the Illinois Prevailing Wage Act, 820 ILCS 130/5, submit to the Village, on a monthly basis, a certified payroll. The certified payroll shall consist of a complete copy of those records required to be made and kept by the Prevailing Wage Act. The certified payroll shall be accompanied by a statement signed by the Bidder or subcontractor which certifies that: (1) such records are true and accurate; (2) the hourly rate paid is not less than the general prevailing rate of hourly wages required by the Prevailing Wage Act; and (3) Bidder or subcontractor is aware that filing a certified payroll that he or she knows to be false is a Class B misdemeanor. A general contractor may rely upon the certification of a

lower tier subcontractor, provided that the general contractor does not knowingly rely upon a subcontractor's false certification. Upon two business days' notice, Bidder and each subcontractor shall make available for inspection the records required to be made and kept by the Act: (i) to the Village, its officers and agents, and to the Director of the Illinois Department of Labor and his or her deputies and agents; and (ii) at all reasonable hours at a location within this State.

DATED this 15th day of July, 2016.

Bidder's Status: Illinois Corporation (State) Partnership (State) Individual Proprietor

Bidder's Name: Patrick McCann, Inc.

Doing Business As (if different): _____

Signature of Bidder or Authorized Agent: [Signature]

(corporate seal) Printed Name: Patrick E. McCann
(if corporation)

Title/Position: Pres

Bidder's Business Address: 701 Hawthorne Ln
Wauvan, IL 60134

Bidder's Business Telephone: 630-209-2616 Facsimile: N/A

If a Corporation or Partnership, list all Officers or Partners:

NAME	TITLE	ADDRESS
<u>Melissa M. McCann</u>	<u>SEC</u>	<u>701 Hawthorne Ln</u>

ACCEPTANCE

The Contract/Proposal attached hereto and by this reference incorporated herein and made a part hereof is hereby accepted by the order of the Village of Lincolnwood ("***Village***") this _____ day of _____, 2016.

This Acceptance, together with the Contract/Proposal attached hereto, constitutes the entire and only agreement between the parties relating to the accomplishment of the Work and the compensation therefor and supersedes and merges any other prior or contemporaneous discussions, agreements, or understandings, whether written or oral, and shall prevail over any contradictory or inconsistent terms or conditions contained in any purchase order, acceptance, acknowledgement, invoice, or other standard form used by the parties in the performance of the Contract/Proposal. Any such contradictory or inconsistent terms or conditions shall be deemed objected to by the Village without further notice of objection and shall be of no effect nor in any circumstances binding upon the Village unless accepted by the Village in a written document plainly labeled "Amendment to Agreement." Acceptance or rejection by the Village of any such contradictory or inconsistent terms or conditions shall not constitute acceptance of any other contradictory or inconsistent terms or conditions.

VILLAGE OF LINCOLNWOOD

By: _____
Timothy C. Wiberg
Village Manager

ATTACHMENT A
SPECIFICATIONS

Intent

The Village is accepting proposals from qualified vendors for the installation of windows at the Lincolnwood Fire Station (6900 N. Lincoln Avenue). It is the intention of these specifications to furnish sufficient detail to permit qualified vendors to quote of furnishing all of the labor, materials, and equipment to complete the work.

Scope of Services

The vendor shall be responsible for providing all labor, materials, and equipment to remove and replace the existing windows at the Lincolnwood Fire Station. Installation of the new windows is expected to be complete by October 31, 2016.

Materials

All materials are to be Pella Architect Windows with Brick Red rolled aluminum exteriors (or approved alternate). The attached photos are expected to provide the Bidder with assistance in identifying the correct product.

1. **Two Section Casements:**

Left Casement

General: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color/Finish: Brick Red Rolled Aluminum
Interior Color/Finish: Bare Pine Wood
Sash/Panel: Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude
Hardware: Fold- Away Crank, Brown
Screen: Full Screen, Brown, InView™
Grille: ILT, No Custom Grille, 7/8", Traditional (2W1H)
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame to Frame Width: 0"
Measurement: 20"x54" (approximately)
Quantity: 15

Right Casement

General: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color/Finish: Brick Red Rolled Aluminum
Interior Color/Finish: Bare Pine Wood
Sash/Panel: Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude
Hardware: Fold- Away Crank, Brown
Screen: Full Screen, Brown, InView™
Grille: ILT, No Custom Grille, 7/8", Traditional (2W1H)
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame to Frame Width: 0"
Measurement: 20"x54" (approximately)
Quantity: 15

2. **Single Section Casements - Narrow:**

General: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color/Finish: Brick Red Rolled Aluminum
Interior Color/Finish: Bare Pine Wood
Sash/Panel: Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non-High

Altitude
Hardware: Fixed
Screen: None
Grille: None
Measurement: 17.5"x54" (approximately)
Quantity: 6

3. Single Section Casements – Tower:

General: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color/Finish: Standard Eduraclad, Real Red
Interior Color/Finish: Provincial Stain Interior
Sash/Panel: Standard
Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon
Non-High Altitude
Hardware Options: Side Pivot Hardware, No Limited Opening Hardware, Brown
(four windows will have hardware, the other four will be fixed)
Screen: None
Grille: No Grille
Measurement: 30" x 40" (approximately)
Quantity: 8

Please note that all measurements are approximate and it will be the Contractor's responsibility to verify measurements in the field.



Photo 1: Northwest side of building, main door



Photo 2: Northwest side of building, right of main door



Photo 3: Northwest side of building, left of main door



Photo 4: Southwest side of building, left side



Photo 5: Southwest side of building, right side



Photo 6: Offices, south side of building

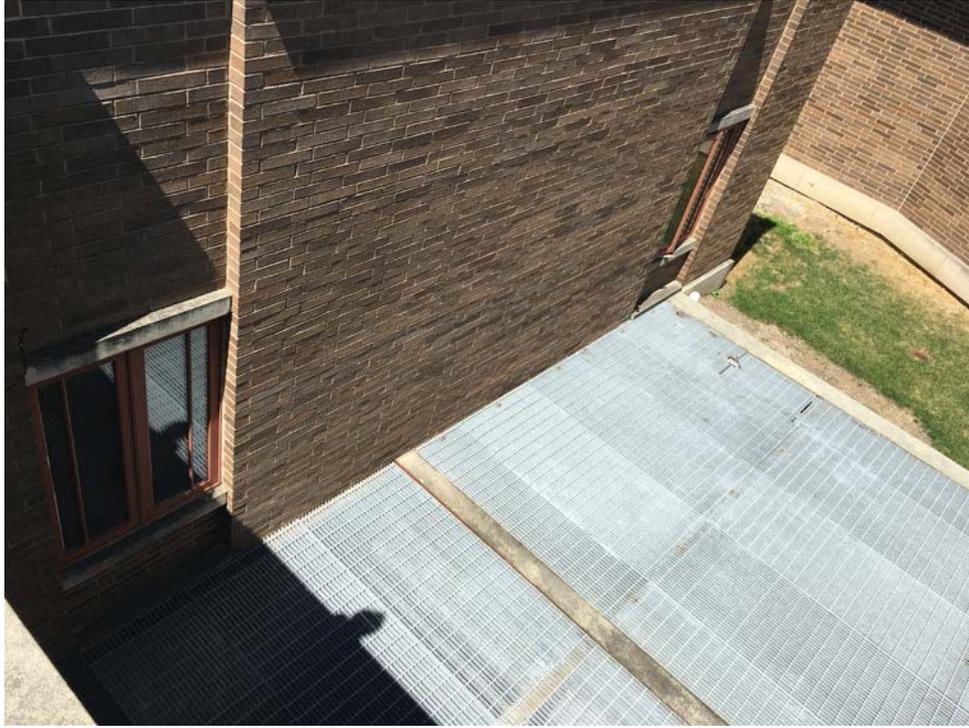


Photo 7: Training Room, northeast side of building



Photo 8: South side of tower



Photo 9: East side of tower



Photo 10: North side of tower



Photo 11: West side of tower

ATTACHMENT B

SCHEDULE OF PRICES

The approximate quantities set forth in this Schedule of Prices for each Unit Price Item are the Village's estimate only. The Village reserves the right to increase or decrease such quantities, and that payment for each Unit Price Item shall be made only on the actual number of acceptable units of such Unit Price Item installed complete in place, measured on the basis defined in the Contract.

No.	Item	Qty	Unit Price	Extension
1	Two Section Casements	15	\$ 1,660.00	\$ 24,900.00
2	Single Section Fixed Casements – Narrow	6	\$ 997.00	\$ 5,982.00
3	Single Section Casements – Tower	8	\$ 1,035.00	\$ 8,280

TOTAL CONTRACT PRICE:

Thirty nine thousand one hundred sixty two Dollars and zero Cents
(in writing) (in writing)

39,162 Dollars and 00 Cents
(in figures) (in figures)

ATTACHMENT C

SPECIAL PROVISIONS

Except for such work as may be required to properly maintain lights and barricades, no work will be permitted on Sundays, legal holidays, Passover, Rosh Hashanah, Yom Kippur, Hanukkah, and on weekdays between 7:00 p.m. and 7:00 a.m. On Saturdays, no work shall begin before 9:00 a.m. or proceed after 5:00 p.m. without specific permission of the Engineer.

VILLAGE OF LINCOLNWOOD

**REPLACEMENT OF FIRE STATION WINDOWS
PERFORMANCE BOND**

KNOW ALL MEN BY THESE PRESENTS: that _____, as Principal, hereinafter called Contractor, and _____, as Surety, a corporation organized and existing under the laws of the State of _____, hereinafter called Surety, are held and firmly bound unto the VILLAGE OF LINCOLNWOOD, 6900 North Lincoln Avenue, Lincolnwood, Illinois, 60712, as Obligee, hereinafter called Owner, for the use and benefit of itself and of claimants as hereinafter defined, in the full and just sum of _____ Dollar (\$_____), for the payment of which sum of money well and truly to be made, Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents, said amount to include payment of actual costs and damages and for attorneys' fees, architectural fees, design fees, engineering fees, accounting fees, testing fees, consulting fees, administrative costs, court costs, interest and any other fees and expenses resulting from or incurred by reason of Contractor's failure to promptly and faithfully perform its contract with Owner, said contract being more fully described below, and to include attorneys' fees, court costs and administrative and other expenses necessarily paid or incurred in successfully enforcing performance of the obligation of Surety under this bond.

WHEREAS, Contractor has entered into a written agreement dated _____, with Owner entitled "Contract Between Village of Lincolnwood and _____ for the Replacement of Fire Station Windows " (the "Contract"), the terms and conditions of which are by this reference incorporated herein as though fully set forth herein.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH THAT if Contractor shall well, truly, and promptly perform all the undertakings, covenants, terms, conditions, and agreements of said Contractor under the Contract, including, but not limited to, Contractor's obligations under the Contract: (1) to provide, perform and complete at the Work Site and in the manner specified in the Contract all necessary work, labor, services, transportation, equipment, materials, apparatus, machinery, tools, fuels, gas, electric, water, waste disposal, information, data, and other means and items necessary for the replacement of fire station windows, together with related attachments, equipment, and appurtenances thereto; (2) to procure and furnish all permits, licenses, and other governmental approvals and authorizations necessary in connection therewith except as otherwise expressly provided in the Special Conditions of Contract; (3) to procure and furnish all bonds and certificates and policies of insurance specified in the Contract; (4) to pay all applicable federal, state, and local taxes; (5) to do all other things required of Contractor by the Contract; and (6) to provide, perform, and complete all of the foregoing in a proper and workmanlike manner and in full compliance with, and as required by and pursuant to, the Contract; all of which is herein referred to as the "Work," whether or not any of said Work enter into and become component parts of the improvement contemplated, then this obligation shall be null and void; otherwise it shall remain in full force and effect.

Surety, for value received, hereby stipulates and agrees that no changes, modifications, alterations, omissions, deletions, additions, extensions of time, or forbearances on the part of either Owner or Contractor to the other in or to the terms of said Contract; in or to the schedules, plans, drawings, or specifications; in or to the method or manner of performance

of the Work; in or to Owner-furnished facilities, equipment, materials, services, or sites; or in or to the mode or manner of payment therefor, shall in any way release Contractor and Surety or either or any of them, or any of their heirs, executors, administrators, successors, or assigns, or affect the obligations of Surety on this bond, all notice of any and all of the foregoing changes, modifications, alterations, omissions, deletions, additions, extensions of time, or forbearances, and notice of any and all defaults by Contractor or of Owner's termination of Contractor being hereby waived by Surety.

Notwithstanding anything to the contrary in the foregoing paragraph, in no event shall the obligations of Surety under this bond in the event of Contractor's default be greater than the obligations of Contractor under the Contract in the absence of such Contractor default.

In the event of a default or defaults by Contractor, Owner shall have the right to take over and complete the Contract upon 30 calendar days' written notice to Surety, in which event Surety shall pay Owner all costs incurred by Owner in taking over and completing the Contract.

At its option, Owner may instead request that Surety take over and complete the Contract, in which event Surety shall take reasonable steps to proceed promptly with completion no later than 30 calendar days from the date on which Owner notifies Surety that Owner wants Surety to take over and complete the Contract.

Owner shall have no obligation to actually incur any expense or correct any deficient performance of Contractor in order to be entitled to receive the proceeds of this bond.

No right of action shall accrue on this bond to or for the use of any person or corporation other than Owner or the heirs, executors, administrators, or successors of Owner.

Signed and sealed this ___ day of _____, 2016.

Attest/Witness: _____ PRINCIPAL: _____

By: _____ By: _____

Title: _____ Title: _____

Attest/Witness: _____ SURETY: _____

By: _____ By: _____

Title: _____ Title: _____

Telephone: _____

VILLAGE OF LINCOLNWOOD

**REPLACEMENT OF FIRE STATION WINDOWS
LABOR AND MATERIAL PAYMENT BOND**

KNOW ALL MEN BY THESE PRESENTS: that _____, as Principal, hereinafter called Contractor, and _____, as Surety, a corporation organized and existing under the laws of the State of _____, hereinafter called Surety, are held and firmly bound unto the VILLAGE OF LINCOLNWOOD, 6900 North Lincoln Avenue, Lincolnwood, Illinois, 60712, as Obligee, hereinafter called Owner, for the use and benefit of itself and of claimants as hereinafter defined, in the full and just sum of _____ Dollar (\$ _____), to be paid to it or the said claimants or its or their assigns, to which payment well and truly to be made Contractor and Surety bind themselves, their heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents, said amount to include attorney's fees, court costs, and administrative and other expenses necessarily paid or incurred in successfully enforcing performance of the obligation of Surety under this bond.

WHEREAS, Contractor has entered into a written agreement dated _____, with Owner entitled "Contract Between Village of Lincolnwood and _____ for the Replacement of Fire Station Windows " (the "Contract"), the terms and conditions of which are by this reference incorporated herein as though fully set forth herein.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH THAT if Contractor shall promptly pay or cause to be paid all sums of money that may be due to any claimant with respect to Contractor's obligations under the Contract: (1) to provide, perform, and complete at the Work Site and in the manner specified in the Contract all necessary work, labor, services, transportation, equipment, materials, apparatus, machinery, tools, fuels, gas, electric, water, waste disposal, information, data, and other means and items necessary for the replacement of fire station windows, together with related attachments, equipment, and appurtenances thereto; (2) to procure and furnish all permits, licenses, and other governmental approvals and authorizations necessary in connection therewith except as otherwise expressly provided in the Special Conditions of Contract; (3) to procure and furnish all bonds and certificates and policies of insurance specified in the Contract; (4) to pay all applicable federal, state, and local taxes; (5) to do all other things required of Contractor by the Contract; and (6) to provide, perform, and complete all of the foregoing in a proper and workmanlike manner and in full compliance with, and as required by and pursuant to, the Contract; all of which is herein referred to as the "Work," whether or not any of said Work enter into and become component parts of the improvement contemplated, then this obligation shall be null and void; otherwise it shall remain in full force and effect.

For purpose of this bond, a claimant is defined as one having a direct contract with Contractor or with a subcontractor of Contractor to provide, perform or complete any part of the Work.

Contractor and Surety hereby jointly and severally agree that every claimant who has not had all just claims for the furnishing of any part of the Work paid in full, including, without limitation, all claims for amounts due for materials, lubricants, oil, gasoline, rentals of, or service or repairs on, machinery, equipment, and tools consumed or used in connection with the furnishing of any part of the Work, may sue on this bond for the use of such claimant, may

prosecute the suit to final judgment for such sum or sums as may be justly due such claimant, and may have execution therein; provided, however, that Owner shall not be liable for the payment of any costs or expenses of any such suit. The provisions of 30 ILCS 550/1 and 30 ILCS 550/2 shall be deemed inserted herein, including the time limits within which notices of claim must be filed and actions brought under this bond.

Contractor and Surety hereby jointly agree that Owner may sue on this bond if Owner is held liable to, or voluntarily agrees to pay, any claimant directly, but nothing in this bond shall create any duty on the part of Owner to pay any claimant.

Surety, for value received, hereby stipulates and agrees that no changes, modifications, alterations, omissions, deletions, additions, extensions of time, or forbearances on the part of Owner or Contractor to the other in or to the terms of said Contract; in or to the schedules, plans, drawings, or specifications; in or to the method or manner of performance of the Work; in or to Owner-furnished facilities, equipment, materials, services, or sites; or in or to the mode or manner of payment therefor shall in any way release Contractor and Surety or either or any of them, or any of their heirs, executors, administrators, successors, or assigns, or affect the obligations of said Surety on this bond, all notice of any and all of the foregoing changes, modifications, alterations, omissions, deletions, additions, extensions of time, or forbearances and notice of any and all defaults by Contractor or of Owner's termination of Contractor being hereby waived by Surety.

Signed and sealed this ____ day of _____, 2016.

Attest/Witness: PRINCIPAL: _____

By: _____ By: _____

Title: _____ Title: _____

Attest/Witness: SURETY: _____

By: _____ By: _____

Title: _____ Title: _____

Telephone: _____

APPENDIX A: PREVAILING WAGE ORDINANCE

See Attached

VILLAGE OF LINCOLNWOOD

RESOLUTION NO. R2016-1909

**A RESOLUTION DETERMINING THE PREVAILING RATE OF WAGES
IN THE VILLAGE OF LINCOLNWOOD**

WHEREAS, the State of Illinois has enacted the "Prevailing Wage Act," 820 ILCS 130/0.01 *et seq.* ("**Act**"); and

WHEREAS, the Act requires that the Village investigate and ascertain the prevailing rate of wages as defined in the Act for laborers, mechanics, and other workers in the locality of Cook County employed in performing construction of public works for the Village; and

WHEREAS, the Village President and Board of Trustees have determined that it will serve and be in the best interest of the Village to adopt this Resolution;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

SECTION 2. ASCERTAINMENT AND APPLICATION OF PREVAILING WAGES. To the extent and as required by the Act, the general prevailing rate of wages in Cook County for laborers, mechanics, and other workers engaged in construction of public works coming under the jurisdiction of the Village is hereby ascertained to be the same as the prevailing rate of wages for construction work in the Cook County area as determined by the Department of Labor of the State of Illinois as of July 2015, a copy of that determination being attached hereto and incorporated herein by reference as **Exhibit A**. As required by the Act, any and all revisions of the prevailing rate of wages by the Department of Labor of the State of Illinois will supersede the Department's July 2015 determination and apply to any and all public works construction undertaken by the Village.

SECTION 3. CONTRACTORS' RESPONSIBILITY. Each contractor or subcontractor engaged in construction of public works for the Village to which the general prevailing rate of hourly wages are required by the Act to be paid must submit to the Village a certified payroll on a monthly basis, in accordance with Section 5 of the Act. The certified payroll must consist of a complete copy of those records required to be made and kept by the Act. The certified payroll must be accompanied by a statement signed by the contractor or subcontractor that certifies that: (A) such records are true and accurate; (B) the hourly rate paid is not less than the general prevailing rate of hourly wages required by the Act; and (C) the contractor or subcontractor is aware that filing a certified payroll that he or she knows to be false is a Class A misdemeanor. A general contractor may rely on the certification of a lower tier subcontractor, provided that the general contractor does not knowingly rely upon a subcontractor's false certification. Upon seven business days' notice, the contractor and each subcontractor must make available for

inspection the records required to be made and kept by the Act: (i) to the Village and its officers and agents, and to the Director of the Illinois Department of Labor and his or her deputies and agents, and all other federal, State, or local law enforcement agencies and prosecutors; and (ii) at all reasonable hours at a location within the State.

SECTION 4. DEFINITIONS; APPLICABILITY. The definition of any term appearing in this Resolution that also is used in the Act is the same as in the Act. Nothing in this Resolution is to be construed to apply to the general prevailing rate of wages for Cook County, as ascertained pursuant to this Resolution, to any work or employment except public works construction of the Village conducted in Cook County to the extent required by the Act.

SECTION 5. POSTING AND INSPECTION. The Village Clerk is directed to publicly post or keep available for inspection by any interested party in the main office of the Village this determination or any revisions to the prevailing rate of wages for Cook County. A copy of this determination or of any revised determination of prevailing rate of wages for Cook County then in effect will be attached to all public works construction contract specifications.

SECTION 6. FILING. The Village Clerk is hereby directed to promptly file a certified copy of this Resolution with both the Secretary of State Index Division of the State of Illinois and the Department of Labor of the State of Illinois.

SECTION 7. PUBLICATION. The Village Clerk is hereby directed to cause a copy of this Resolution to be published in a newspaper of general circulation within the area within 30 days after its filing with the Secretary of State Index Division of the State of Illinois and the Department of Labor of the State of Illinois, which publication will constitute notice that this determination is effective and is the determination of the Village.

SECTION 8. MAILING UPON REQUEST. The Village Clerk is hereby directed to mail a copy of this determination to any employer, and to any association of employers, and to any person or association of employees who have filed their names and addresses, requesting copies of any determination stating the particular rates and the particular class of workers whose wages will be affected by such rates.

SECTION 9. EFFECTIVE DATE. This Resolution will be in full force and effect from and after its passage and approval as provided by law.

[SIGNATURE PAGE FOLLOWS]

PASSED this 3rd day of May, 2016.

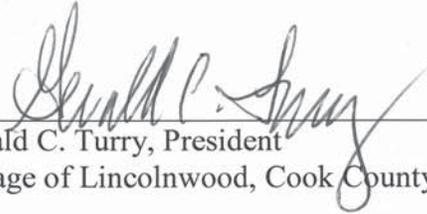
AYES: Trustees Bass, Cope, Patel, Klatzco

NAYS: None

ABSENT: Trustees Elster, Spino

ABSTENTION: None

APPROVED by me this 3rd day of May, 2016.



Gerald C. Turry, President
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
3rd day of May, 2016



Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

Exhibit A

Illinois Department of Labor Prevailing Wages for Cook County
July 2015

Cook County Prevailing Wage for July 2015

(See explanation of column headings at bottom of wages)

Trade Name	RG	TYP	C	Base	FRMAN	M-F>8	OSA	OSH	H/W	Pensn	Vac	Trng
=====	==	===	=	=====	=====	=====	===	===	=====	=====	=====	=====
ASBESTOS ABT-GEN		ALL		39.400	39.950	1.5	1.5	2.0	13.98	10.72	0.000	0.500
ASBESTOS ABT-MEC		BLD		36.340	38.840	1.5	1.5	2.0	11.47	10.96	0.000	0.720
BOILERMAKER		BLD		47.070	51.300	2.0	2.0	2.0	6.970	18.13	0.000	0.400
BRICK MASON		BLD		43.780	48.160	1.5	1.5	2.0	10.05	14.43	0.000	1.030
CARPENTER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630
CEMENT MASON		ALL		43.750	45.750	2.0	1.5	2.0	13.05	14.45	0.000	0.480
CERAMIC TILE FNSHER		BLD		36.810	0.000	1.5	1.5	2.0	10.55	9.230	0.000	0.770
COMM. ELECT.		BLD		40.000	42.800	1.5	1.5	2.0	8.670	12.57	1.100	0.750
ELECTRIC PWR EQMT OP		ALL		46.100	51.100	1.5	1.5	2.0	10.76	14.87	0.000	0.460
ELECTRIC PWR GRNDMAN		ALL		37.050	52.500	1.5	2.0	2.0	8.630	12.28	0.000	0.370
ELECTRIC PWR LINEMAN		ALL		47.500	52.500	1.5	2.0	1.5	11.06	15.75	0.000	0.480
ELECTRICIAN		ALL		45.000	48.000	1.5	1.5	2.0	13.83	15.27	0.000	1.000
ELEVATOR CONSTRUCTOR		BLD		50.800	57.150	2.0	2.0	2.0	13.57	14.21	4.060	0.600
FENCE ERECTOR		ALL		37.340	39.340	1.5	1.5	2.0	13.05	12.06	0.000	0.300
GLAZIER		BLD		40.500	42.000	1.5	2.0	2.0	13.14	16.99	0.000	0.940
HT/FROST INSULATOR		BLD		48.450	50.950	1.5	1.5	2.0	11.47	12.16	0.000	0.720
IRON WORKER		ALL		44.200	46.200	2.0	2.0	2.0	13.65	21.14	0.000	0.350
LABORER		ALL		39.200	39.950	1.5	1.5	2.0	13.98	10.72	0.000	0.500
LATHER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630
MACHINIST		BLD		45.350	47.850	1.5	1.5	2.0	7.260	8.950	1.850	0.000
MARBLE FINISHERS		ALL		32.400	34.320	1.5	1.5	2.0	10.05	13.75	0.000	0.620
MARBLE MASON		BLD		43.030	47.330	1.5	1.5	2.0	10.05	14.10	0.000	0.780
MATERIAL TESTER I		ALL		29.200	0.000	1.5	1.5	2.0	13.98	10.72	0.000	0.500
MATERIALS TESTER II		ALL		34.200	0.000	1.5	1.5	2.0	13.98	10.72	0.000	0.500
MILLWRIGHT		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630
OPERATING ENGINEER		BLD	1	48.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	2	46.800	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	3	44.250	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	4	42.500	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	5	51.850	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	6	49.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	7	51.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		FLT	1	53.600	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	2	52.100	53.600	1.5	1.5	2.0	17.10	11.05	1.900	1.250
OPERATING ENGINEER		FLT	3	46.400	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	4	38.550	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	5	55.100	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	6	35.000	35.000	1.5	1.5	2.0	16.60	11.05	1.900	1.250
OPERATING ENGINEER		HWY	1	46.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	2	45.750	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	3	43.700	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	4	42.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	5	41.100	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	6	49.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	7	47.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
ORNAMNTL IRON WORKER		ALL		45.000	47.500	2.0	2.0	2.0	13.55	17.94	0.000	0.650
PAINTER		ALL		41.750	46.500	1.5	1.5	1.5	11.50	11.10	0.000	0.770
PAINTER SIGNS		BLD		33.920	38.090	1.5	1.5	1.5	2.600	2.710	0.000	0.000
PILEDRIVER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630
PIPEFITTER		BLD		46.000	49.000	1.5	1.5	2.0	9.000	15.85	0.000	1.780
PLASTERER		BLD		43.430	46.040	1.5	1.5	2.0	13.05	14.43	0.000	1.020
PLUMBER		BLD		46.650	48.650	1.5	1.5	2.0	13.18	11.46	0.000	0.880
ROOFER		BLD		41.000	44.000	1.5	1.5	2.0	8.280	10.54	0.000	0.530
SHEETMETAL WORKER		BLD		42.230	45.610	1.5	1.5	2.0	10.53	20.68	0.000	0.720
SIGN HANGER		BLD		31.310	33.810	1.5	1.5	2.0	4.850	3.280	0.000	0.000

SPRINKLER FITTER	BLD	49.200	51.200	1.5	1.5	2.0	11.75	9.650	0.000	0.550
STEEL ERECTOR	ALL	42.070	44.070	2.0	2.0	2.0	13.45	19.59	0.000	0.350
STONE MASON	BLD	43.780	48.160	1.5	1.5	2.0	10.05	14.43	0.000	1.030
SURVEY WORKER	NOT IN EFFECT	ALL	37.000	37.750	1.5	1.5	2.0	12.97	9.930	0.000 0.500
TERRAZZO FINISHER	BLD	38.040	0.000	1.5	1.5	2.0	10.55	11.22	0.000	0.720
TERRAZZO MASON	BLD	41.880	44.880	1.5	1.5	2.0	10.55	12.51	0.000	0.940
TILE MASON	BLD	43.840	47.840	1.5	1.5	2.0	10.55	11.40	0.000	0.990
TRAFFIC SAFETY WRKR	HWY	32.750	34.350	1.5	1.5	2.0	6.550	6.450	0.000	0.500
TRUCK DRIVER	E ALL 1	35.480	35.680	1.5	1.5	2.0	8.350	10.50	0.000	0.150
TRUCK DRIVER	E ALL 2	34.100	34.500	1.5	1.5	2.0	8.150	8.500	0.000	0.150
TRUCK DRIVER	E ALL 3	34.300	34.500	1.5	1.5	2.0	8.150	8.500	0.000	0.150
TRUCK DRIVER	E ALL 4	34.500	34.500	1.5	1.5	2.0	8.150	8.500	0.000	0.150
TRUCK DRIVER	W ALL 1	35.600	35.800	1.5	1.5	1.5	8.250	9.140	0.000	0.150
TRUCK DRIVER	W ALL 2	32.700	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.000
TRUCK DRIVER	W ALL 3	32.900	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.000
TRUCK DRIVER	W ALL 4	33.100	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.000
TUCK POINTER	BLD	43.800	44.800	1.5	1.5	2.0	8.280	13.49	0.000	0.670

Legend: RG (Region)
TYP (Trade Type - All,Highway,Building,Floating,Oil & Chip,Rivers)
C (Class)
Base (Base Wage Rate)
FRMAN (Foreman Rate)
M-F>8 (OT required for any hour greater than 8 worked each day, Mon through Fri.)
OSA (Overtime (OT) is required for every hour worked on Saturday)
OSH (Overtime is required for every hour worked on Sunday and Holidays)
H/W (Health & Welfare Insurance)
Pensn (Pension)
Vac (Vacation)
Trng (Training)

Explanations

COOK COUNTY

The following list is considered as those days for which holiday rates of wages for work performed apply: New Years Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day, Christmas Day and Veterans Day in some classifications/counties. Generally, any of these holidays which fall on a Sunday is celebrated on the following Monday. This then makes work performed on that Monday payable at the appropriate overtime rate for holiday pay. Common practice in a given local may alter certain days of celebration. If in doubt, please check with IDOL.

TRUCK DRIVERS (WEST) - That part of the county West of Barrington Road.

EXPLANATION OF CLASSES

ASBESTOS - GENERAL - removal of asbestos material/mold and hazardous materials from any place in a building, including mechanical systems where those mechanical systems are to be removed. This includes the removal of asbestos materials/mold and hazardous materials from ductwork or pipes in a building when the building is to be demolished at the time or at some close future date.

ASBESTOS - MECHANICAL - removal of asbestos material from mechanical systems, such as pipes, ducts, and boilers, where the mechanical systems are to remain.

CERAMIC TILE FINISHER

The grouting, cleaning, and polishing of all classes of tile, whether for interior or exterior purposes, all burned, glazed or unglazed products; all composition materials, granite tiles, warning detectable

tiles, cement tiles, epoxy composite materials, pavers, glass, mosaics, fiberglass, and all substitute materials, for tile made in tile-like units; all mixtures in tile like form of cement, metals, and other materials that are for and intended for use as a finished floor surface, stair treads, promenade roofs, walks, walls, ceilings, swimming pools, and all other places where tile is to form a finished interior or exterior. The mixing of all setting mortars including but not limited to thin-set mortars, epoxies, wall mud, and any other sand and cement mixtures or adhesives when used in the preparation, installation, repair, or maintenance of tile and/or similar materials. The handling and unloading of all sand, cement, lime, tile, fixtures, equipment, adhesives, or any other materials to be used in the preparation, installation, repair, or maintenance of tile and/or similar materials. Ceramic Tile Finishers shall fill all joints and voids regardless of method on all tile work, particularly and especially after installation of said tile work. Application of any and all protective coverings to all types of tile installations including, but not be limited to, all soap compounds, paper products, tapes, and all polyethylene coverings, plywood, masonite, cardboard, and any new type of products that may be used to protect tile installations, Blastrac equipment, and all floor scarifying equipment used in preparing floors to receive tile. The clean up and removal of all waste and materials. All demolition of existing tile floors and walls to be re-tiled.

COMMUNICATIONS ELECTRICIAN

Installation, operation, inspection, maintenance, repair and service of radio, television, recording, voice sound vision production and reproduction, telephone and telephone interconnect, facsimile, data apparatus, coaxial, fibre optic and wireless equipment, appliances and systems used for the transmission and reception of signals of any nature, business, domestic, commercial, education, entertainment, and residential purposes, including but not limited to, communication and telephone, electronic and sound equipment, fibre optic and data communication systems, and the performance of any task directly related to such installation or service whether at new or existing sites, such tasks to include the placing of wire and cable and electrical power conduit or other raceway work within the equipment room and pulling wire and/or cable through conduit and the installation of any incidental conduit, such that the employees covered hereby can complete any job in full.

MARBLE FINISHER

Loading and unloading trucks, distribution of all materials (all stone, sand, etc.), stocking of floors with material, performing all rigging for heavy work, the handling of all material that may be needed for the installation of such materials, building of scaffolding, polishing if needed, patching, waxing of material if damaged, pointing up, caulking, grouting and cleaning of marble, holding water on diamond or Carborundum blade or saw for setters cutting, use of tub saw or any other saw needed for preparation of material, drilling of holes for wires that anchor material set by setters, mixing up of molding plaster for installation of material, mixing up thin set for the installation of material, mixing up of sand to cement for the installation of material and such other work as may be required in helping a Marble Setter in the handling of all material in the erection or installation of interior marble, slate, travertine, art marble, serpentine, alberene stone, blue stone, granite and other stones (meaning as to stone any foreign or domestic materials as are specified and used in building interiors and exteriors and customarily known as stone in the trade), carrara, sanionyx, vitrolite and similar opaque glass and the laying of all

marble tile, terrazzo tile, slate tile and precast tile, steps, risers treads, base, or any other materials that may be used as substitutes for any of the aforementioned materials and which are used on interior and exterior which are installed in a similar manner.

MATERIAL TESTER I: Hand coring and drilling for testing of materials; field inspection of uncured concrete and asphalt.

MATERIAL TESTER II: Field inspection of welds, structural steel, fireproofing, masonry, soil, facade, reinforcing steel, formwork, cured concrete, and concrete and asphalt batch plants; adjusting proportions of bituminous mixtures.

OPERATING ENGINEER - BUILDING

Class 1. Asphalt Plant; Asphalt Spreader; Autograde; Backhoes with Caisson Attachment; Batch Plant; Benoto (requires Two Engineers); Boiler and Throttle Valve; Caisson Rigs; Central Redi-Mix Plant; Combination Back Hoe Front End-loader Machine; Compressor and Throttle Valve; Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Conveyor (Truck Mounted); Concrete Paver Over 27E cu. ft; Concrete Paver 27E cu. ft. and Under; Concrete Placer; Concrete Placing Boom; Concrete Pump (Truck Mounted); Concrete Tower; Cranes, All; Cranes, Hammerhead; Cranes, (GCI and similar Type); Creter Crane; Spider Crane; Crusher, Stone, etc.; Derricks, All; Derricks, Traveling; Formless Curb and Gutter Machine; Grader, Elevating; Grouting Machines; Heavy Duty Self-Propelled Transporter or Prime Mover; Highlift Shovels or Front Endloader 2-1/4 yd. and over; Hoists, Elevators, outside type rack and pinion and similar machines; Hoists, One, Two and Three Drum; Hoists, Two Tugger One Floor; Hydraulic Backhoes; Hydraulic Boom Trucks; Hydro Vac (and similar equipment); Locomotives, All; Motor Patrol; Lubrication Technician; Manipulators; Pile Drivers and Skid Rig; Post Hole Digger; Pre-Stress Machine; Pump Cretes Dual Ram; Pump Cretes: Squeeze Cretes-Screw Type Pumps; Gypsum Bulker and Pump; Raised and Blind Hole Drill; Roto Mill Grinder; Scoops - Tractor Drawn; Slip-Form Paver; Straddle Buggies; Operation of Tie Back Machine; Tournapull; Tractor with Boom and Side Boom; Trenching Machines.

Class 2. Boilers; Broom, All Power Propelled; Bulldozers; Concrete Mixer (Two Bag and Over); Conveyor, Portable; Forklift Trucks; Highlift Shovels or Front Endloaders under 2-1/4 yd.; Hoists, Automatic; Hoists, Inside Elevators; Hoists, Sewer Dragging Machine; Hoists, Tugger Single Drum; Laser Screed; Rock Drill (Self-Propelled); Rock Drill (Truck Mounted); Rollers, All; Steam Generators; Tractors, All; Tractor Drawn Vibratory Roller; Winch Trucks with "A" Frame.

Class 3. Air Compressor; Combination Small Equipment Operator; Generators; Heaters, Mechanical; Hoists, Inside Elevators (remodeling or renovation work); Hydraulic Power Units (Pile Driving, Extracting, and Drilling); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Low Boys; Pumps, Well Points; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 4. Bobcats and/or other Skid Steer Loaders; Oilers; and Brick Forklift.

Class 5. Assistant Craft Foreman.

Class 6. Gradall.

Class 7. Mechanics; Welders.

OPERATING ENGINEERS - HIGHWAY CONSTRUCTION

Class 1. Asphalt Plant; Asphalt Heater and Planer Combination; Asphalt Heater Scarfire; Asphalt Spreader; Autograder/GOMACO or other similar type machines: ABG Paver; Backhoes with Caisson Attachment; Ballast Regulator; Belt Loader; Caisson Rigs; Car Dumper; Central Redi-Mix Plant; Combination Backhoe Front Endloader Machine, (1 cu. yd. Backhoe Bucket or over or with attachments); Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver over 27E cu. ft.; Concrete Placer; Concrete Tube Float; Cranes, all attachments; Cranes, Tower Cranes of all types: Creter Crane: Spider Crane; Crusher, Stone, etc.; Derricks, All; Derrick Boats; Derricks, Traveling; Dredges; Elevators, Outside type Rack & Pinion and Similar Machines; Formless Curb and Gutter Machine; Grader, Elevating; Grader, Motor Grader, Motor Patrol, Auto Patrol, Form Grader, Pull Grader, Subgrader; Guard Rail Post Driver Truck Mounted; Hoists, One, Two and Three Drum; Heavy Duty Self-Propelled Transporter or Prime Mover; Hydraulic Backhoes; Backhoes with shear attachments up to 40' of boom reach; Lubrication Technician; Manipulators; Mucking Machine; Pile Drivers and Skid Rig; Pre-Stress Machine; Pump Cretes Dual Ram; Rock Drill - Crawler or Skid Rig; Rock Drill - Truck Mounted; Rock/Track Tamper; Roto Mill Grinder; Slip-Form Paver; Snow Melters; Soil Test Drill Rig (Truck Mounted); Straddle Buggies; Hydraulic Telescoping Form (Tunnel); Operation of Tieback Machine; Tractor Drawn Belt Loader; Tractor Drawn Belt Loader (with attached pusher - two engineers); Tractor with Boom; Tractaire with Attachments; Traffic Barrier Transfer Machine; Trenching; Truck Mounted Concrete Pump with Boom; Raised or Blind Hole Drills (Tunnel Shaft); Underground Boring and/or Mining Machines 5 ft. in diameter and over tunnel, etc; Underground Boring and/or Mining Machines under 5 ft. in diameter; Wheel Excavator; Widener (APSCO).

Class 2. Batch Plant; Bituminous Mixer; Boiler and Throttle Valve; Bulldozers; Car Loader Trailing Conveyors; Combination Backhoe Front Endloader Machine (Less than 1 cu. yd. Backhoe Bucket or over or with attachments); Compressor and Throttle Valve; Compressor, Common Receiver (3); Concrete Breaker or Hydro Hammer; Concrete Grinding Machine; Concrete Mixer or Paver 75 Series to and including 27 cu. ft.; Concrete Spreader; Concrete Curing Machine, Burlap Machine, Belting Machine and Sealing Machine; Concrete Wheel Saw; Conveyor Muck Cars (Haglund or Similar Type); Drills, All; Finishing Machine - Concrete; Highlift Shovels or Front Endloader; Hoist - Sewer Dragging Machine; Hydraulic Boom Trucks (All Attachments); Hydro-Blaster; Hydro Excavating (excluding hose work); Laser Screed; All Locomotives, Dinky; Off-Road Hauling Units (including articulating) Non Self-Loading Ejection Dump; Pump Cretes: Squeeze Cretes - Screw Type Pumps, Gypsum Bulker and Pump; Roller, Asphalt; Rotary Snow Plows; Rototiller, Seaman, etc., self-propelled; Self-Propelled Compactor; Spreader - Chip - Stone, etc.; Scraper - Single/Twin Engine/Push and Pull; Scraper - Prime Mover in Tandem (Regardless of Size); Tractors pulling attachments, Sheeps Foot, Disc, Compactor, etc.; Tug Boats.

Class 3. Boilers; Brooms, All Power Propelled; Cement Supply Tender; Compressor, Common Receiver (2); Concrete Mixer (Two Bag and Over); Conveyor, Portable; Farm-Type Tractors Used for Mowing, Seeding, etc.; Forklift Trucks; Grouting Machine; Hoists, Automatic; Hoists, All Elevators; Hoists, Tugger Single Drum; Jeep Diggers; Low Boys; Pipe Jacking Machines; Post-Hole Digger; Power Saw, Concrete Power Driven; Pug Mills; Rollers, other than Asphalt; Seed and Straw Blower; Steam Generators; Stump Machine; Winch Trucks with "A" Frame; Work Boats; Tamper-Form-Motor Driven.

Class 4. Air Compressor; Combination - Small Equipment Operator; Directional Boring Machine; Generators; Heaters, Mechanical; Hydraulic

Power Unit (Pile Driving, Extracting, or Drilling); Light Plants, All (1 through 5); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Vacuum Trucks (excluding hose work); Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 5. SkidSteer Loader (all); Brick Forklifts; Oilers.

Class 6. Field Mechanics and Field Welders

Class 7. Dowell Machine with Air Compressor; Gradall and machines of like nature.

OPERATING ENGINEER - FLOATING

Class 1. Craft Foreman; Master Mechanic; Diver/Wet Tender; Engineer; Engineer (Hydraulic Dredge).

Class 2. Crane/Backhoe Operator; Boat Operator with towing endorsement; Mechanic/Welder; Assistant Engineer (Hydraulic Dredge); Leverman (Hydraulic Dredge); Diver Tender.

Class 3. Deck Equipment Operator, Machineryman, Maintenance of Crane (over 50 ton capacity) or Backhoe (115,000 lbs. or more); Tug/Launch Operator; Loader/Dozer and like equipment on Barge, Breakwater Wall, Slip/Dock, or Scow, Deck Machinery, etc.

Class 4. Deck Equipment Operator, Machineryman/Fireman (4 Equipment Units or More); Off Road Trucks; Deck Hand, Tug Engineer, Crane Maintenance (50 Ton Capacity and Under) or Backhoe Weighing (115,000 pounds or less); Assistant Tug Operator.

Class 5. Friction or Lattice Boom Cranes.

Class 6. ROV Pilot, ROV Tender

SURVEY WORKER - Operated survey equipment including data collectors, G.P.S. and robotic instruments, as well as conventional levels and transits.

TERRAZZO FINISHER

The handling of sand, cement, marble chips, and all other materials that may be used by the Mosaic Terrazzo Mechanic, and the mixing, grinding, grouting, cleaning and sealing of all Marble, Mosaic, and Terrazzo work, floors, base, stairs, and wainscoting by hand or machine, and in addition, assisting and aiding Marble, Masonic, and Terrazzo Mechanics.

TRAFFIC SAFETY

Work associated with barricades, horses and drums used to reduce lane usage on highway work, the installation and removal of temporary lane markings, and the installation and removal of temporary road signs.

TRUCK DRIVER - BUILDING, HEAVY AND HIGHWAY CONSTRUCTION - EAST & WEST

Class 1. Two or three Axle Trucks. A-frame Truck when used for transportation purposes; Air Compressors and Welding Machines, including those pulled by cars, pick-up trucks and tractors; Ambulances; Batch Gate Lockers; Batch Hopperman; Car and Truck Washers; Carry-alls; Fork Lifts and Hoisters; Helpers; Mechanics Helpers and Greasers; Oil Distributors 2-man operation; Pavement Breakers; Pole Trailer, up to 40 feet; Power Mower Tractors; Self-propelled Chip Spreader; Skipman; Slurry Trucks, 2-man operation;

Slurry Truck Conveyor Operation, 2 or 3 man; Teamsters; Unskilled Dumpman; and Truck Drivers hauling warning lights, barricades, and portable toilets on the job site.

Class 2. Four axle trucks; Dump Crets and Adgetors under 7 yards; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnapulls or Turntrailers when pulling other than self-loading equipment or similar equipment under 16 cubic yards; Mixer Trucks under 7 yards; Ready-mix Plant Hopper Operator, and Winch Trucks, 2 Axles.

Class 3. Five axle trucks; Dump Crets and Adgetors 7 yards and over; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turntrailers or turnapulls when pulling other than self-loading equipment or similar equipment over 16 cubic yards; Explosives and/or Fission Material Trucks; Mixer Trucks 7 yards or over; Mobile Cranes while in transit; Oil Distributors, 1-man operation; Pole Trailer, over 40 feet; Pole and Expandable Trailers hauling material over 50 feet long; Slurry trucks, 1-man operation; Winch trucks, 3 axles or more; Mechanic--Truck Welder and Truck Painter.

Class 4. Six axle trucks; Dual-purpose vehicles, such as mounted crane trucks with hoist and accessories; Foreman; Master Mechanic; Self-loading equipment like P.B. and trucks with scoops on the front.

Other Classifications of Work:

For definitions of classifications not otherwise set out, the Department generally has on file such definitions which are available. If a task to be performed is not subject to one of the classifications of pay set out, the Department will upon being contacted state which neighboring county has such a classification and provide such rate, such rate being deemed to exist by reference in this document. If no neighboring county rate applies to the task, the Department shall undertake a special determination, such special determination being then deemed to have existed under this determination. If a project requires these, or any classification not listed, please contact IDOL at 217-782-1710 for wage rates or clarifications.

LANDSCAPING

Landscaping work falls under the existing classifications for laborer, operating engineer and truck driver. The work performed by landscape plantsman and landscape laborer is covered by the existing classification of laborer. The work performed by landscape operators (regardless of equipment used or its size) is covered by the classifications of operating engineer. The work performed by landscape truck drivers (regardless of size of truck driven) is covered by the classifications of truck driver.

MATERIAL TESTER & MATERIAL TESTER/INSPECTOR I AND II

Notwithstanding the difference in the classification title, the classification entitled "Material Tester I" involves the same job duties as the classification entitled "Material Tester/Inspector I". Likewise, the classification entitled "Material Tester II" involves the same job duties as the classification entitled "Material Tester/Inspector II".

Request For Board Action

REFERRED TO BOARD: September 6, 2016

AGENDA ITEM NO: 7

ORIGINATING DEPARTMENT: Community Development

SUBJECT: Consideration of a Recommendation by the Plan Commission in Case #PC-12-16, to Approve a Special Use and Certain Variations of the Zoning Code to Permit a New and Reconfigured Off-Street Parking Area at 6825 North Lincoln Avenue

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

Lamb Corporation, property owner of 6825 North Lincoln Avenue, Airoom Plaza, has requested a Special Use to permit front yard parking (Section 7.06(5) of the Zoning Code), a drive aisle width variation (Section 7.06(6) and Table 7.06.01), an off-street parking stall width variation (Section 7.06(6) and Table 7.06.01); a perimeter landscape variation (Section 6.14(1) and Section 6.14(1)b), an interior landscape variation (Section 6.14(2)a); a Special Sign Approval for a pole/pylon sign (Section 11.10(1)iv); a freestanding sign setback variation (Section 11.10(1)iv.5); and a freestanding sign landscape variation (Section 11.10(1)iv.10). These requests have been made in order to meet the following goals: 1) redesign the existing parking area in front of the building along Lincoln Avenue, and 2) add parking along Keystone Avenue to account for parking lost in the redesigned parking area along Lincoln Avenue. The subject property is located in the Village's "B-1" Traditional Business Zoning District and is also within the Mixed Use Hub Overlay.

The proposed project can be best summarized as two separate but related projects most easily identified based on their location; Lincoln Avenue parking redesign and Keystone Avenue parking addition.

Lincoln Avenue Parking Redesign: Currently, the property is improved with head-in parking directly from Lincoln Avenue. This configuration is a dangerous condition for both customers and traffic on Lincoln Avenue, and the project is intended to create safer ingress/egress to the property. To do so, the Petitioner seeks to eliminate head-in parking from Lincoln Avenue and redesign the parking area to include angled parking accessed by an off-street drive aisle.

Keystone Avenue Parking Addition: Currently, parallel parking is permitted on Keystone Avenue. The Petitioner proposes an addition of 10 head-in parking spaces along Keystone Avenue. The proposed parking would be located in the landscaped parkway that is currently a portion of the Keystone Avenue right-of-way. The Village will need to sell and vacate a portion of the Keystone Avenue right-of-way in order for the Petitioner to execute the plan. This is a separate process that will be addressed through a Plat of Vacation for the Board's consideration at a subsequent meeting

As part of the parking project, the existing pole/pylon sign will need to be moved, to accommodate a handicapped-accessible parking space. In order to relocate the existing sign as proposed, the Petitioner requires a Special Sign Approval as all new/relocated pole/pylon signs require formal approval. In addition to the Special Sign Approval, the pole/pylon sign is proposed to be located approximately five feet from the lot line which is less than the minimum ten foot setback. Also, the location of the pole/pylon sign does not include the minimum required landscaping installed at the base of the sign.

Plan Commission Deliberations and Recommendation

The Plan Commission considered the Special Use, Variation, and Special Sign requests on August 24, 2016, and agreed with the petitioner and Village staff that the Lincoln Avenue parking redesign is a clear safety improvement compared to the existing head-in parking. The Commission also acknowledged, based on staff's summary of the matter, that Airoom has been responsive to the Village's comments and has collaborated with the Village to arrive at the proposed plan.

Michael Klein, CEO of Airoom and Petitioner, indicated that the goal of the project is to improve safety along Lincoln Avenue. As a result of the Lincoln Avenue parking redesign, Airoom's headquarters would have fewer off-street parking spaces. Mr. Klein explained that in order to avoid reducing the total number of off-street parking spaces, he developed a plan in which a portion of the Keystone Avenue right-of-way is vacated by the Village and additional parking is added. Staff stated that the added parking along Keystone Avenue would be useful in order to avoid additional Airoom employee vehicles parking in the adjoining residential neighborhood.

During deliberation, the Plan Commission specifically voiced concerns regarding the removal of landscaping on Keystone Avenue, visibility/maneuverability concerns at Keystone and the alley behind Airoom, and a consensus that the vacated Keystone Avenue right-of-way should be restricted to use as a parking area. As a result, the Plan Commission forwards several conditions of approval to address these concerns: 1) The Petitioner must pay into a tree fund for the difference in caliper inches of trees lost as part of the project; 2) The area between the alley and the new head-in parking on Keystone Avenue should be a tow zone to avoid creating too narrow of public right-of-way; and 3) a covenant/restriction be recorded requiring that the vacated portion of the Keystone Avenue right-of-way remain as parking for the property and that no building addition is allowed for that portion of the building along Keystone Avenue. Mr. Klein agreed to all of the Plan Commission's recommendations.

Georgia Talaganis, 3955 W. Estes Avenue, spoke on behalf of the Friends of the Lincolnwood Library. Ms. Talaganis stated that she does not have an issue with the Lincoln Avenue portion of the plan. Ms. Talaganis stated that her concern and opposition is relative to the Keystone Avenue portion of the project and that she believes Keystone Avenue will be too narrow and unsafe for passage. Ms. Talaganis added that creating an unsafe condition near the Library should be avoided.

Village staff responded to the concern regarding width of Keystone Avenue indicating that the total width of the drive lanes currently is approximately 18 feet and upon completion of the proposed Keystone Avenue parking addition the total drive lane width is approximately 25 feet.

Joseph Nofari, 6924 Keystone Avenue, stated Mr. Klein is disingenuous and that he does not see any public benefit to the project, most specifically the Keystone Avenue parking addition. Mr. Nofari stated that he would applaud Mr. Klein for his efforts to improve safety along Lincoln Avenue but that the Keystone Avenue project is unnecessary and unsafe.

Doris Guthman, 7136 Kedvale Avenue, addressed past problems with Airoom parking. Ms. Guthman added that Airoom seems to be successful without the proposed improvements.

No other public testimony was received.

By a unanimous 6-0 vote, the Plan Commission recommends approval of:

- **Special Use** to allow off-street parking area to the front and corner side of the existing retail building (Section 7.06(5)).
- **Variations:**
 1. Minimum Drive Aisle Dimensions (Section 7.06(6) & Table 7.06.01);
 2. Minimum Off-Street Parking Stall Width (Section 7.06(6) & Table 7.06.01);
 3. Minimum Perimeter Landscape Requirement for Off-Street Parking Lots (Section 6.14);
 4. Minimum Interior Landscape Requirements for Off-Street Parking Lots (Section 6.14);
 5. Special Sign Approval for Pole/Pylon Sign (Section 11.10(1)iv));
 6. Freestanding Sign Setback (Section 11.10(1)iv.5); and
 7. Freestanding Sign Landscaping (Section 11.10(1)iv.10).

Subject to:

1. All replacement sidewalks must be at least five feet in width;
2. Final species and location of proposed trees in the right-of-way to be approved by the Village
3. All new parkway trees must have a minimum caliper of 2.5 inches;
4. Illinois Department of Transportation permit is required for proposed work within the Lincoln Avenue right-of-way;
5. Internal directional signage is to be reviewed and approved by the Village and installed by the Petitioner;
6. A tow zone should be established on the west side of Keystone Avenue, south of its intersection with the public alley, and that area should be marked with a sign announcing the tow zone;
7. A donation to the Village's tree fund is required based on the difference in caliper inches that exist before the project and caliper inches at the time of installation of new trees;
8. A covenant/restriction is to be recorded to govern that the dedicated former Keystone Avenue right-of-way must be used as parking for the subject property; and
9. A covenant/restriction is to be recorded to prohibit any addition to the building along Keystone Avenue.

The Plan Commission indicated that their recommendation is limited to the matter that is under consideration and advised the public that in order to execute the project, the Petitioner will require additional Village action including:

1. Village vacation of a portion of Keystone Avenue; and
2. Plat of Consolidation.

FINANCIAL IMPACT:

None

DOCUMENTS ATTACHED:

1. August 24, 2016 Plan Commission Minutes Excerpt (Draft)
2. Staff Report to Plan Commission
3. Zoning Code Section 7.06(5)
4. Zoning Code Section Section 7.06(6) and Table 7.06.(01)
5. Zoning Code Section 6.14(1)b and (2)a
6. Zoning Code Section 11.10(1)iv
7. Public Hearing Special Use Application
8. Public Hearing Variation Application
9. Photographs of Subject Property
10. Proof of Ownership
11. Development Review Team Summary
12. Plat of Survey
13. Existing Topography Plan
14. Proposed Site Plan w/ Autoturn
15. Proposed Landscape Plan

RECOMMENDED MOTION:

Move to concur with the recommendation of the Plan Commission in Case #PC-12-16, to Approve a Special Use and Certain Variations of the Zoning Code to Permit a New and Reconfigured Off-Street Parking Area at 6825 North Lincoln Avenue and to direct the Village attorney to prepare an Ordinance for adoption consistent with this concurrence. Village staff is also directed to prepare a Plat of Vacation for that portion of the Keystone Avenue right-of-way to be so vacated.



**DRAFT MEETING MINUTES
OF THE
PLAN COMMISSION
AUGUST 24, 2016 – 7:00 P.M.**

**LINCOLNWOOD VILLAGE HALL
COUNCIL CHAMBERS
6900 NORTH LINCOLN AVENUE
LINCOLNWOOD, ILLINOIS 60712**

MEMBERS PRESENT:

Chairman Mark Yohanna
Irving Fishman
Patricia Goldfein
Henry Novoselsky
Anthony Pauletto
Don Sampen (arrived at 7:07)

MEMBERS ABSENT:

Steven Jakubowski

STAFF PRESENT:

Aaron N. Cook, AICP, Community Development Manager
Kathryn M. Kasprzyk, Community Development Coordinator

I. Call to Order

Chairman Yohanna noted a quorum of five members and called the meeting to order at 7:05 p.m.

II. Pledge of Allegiance

III. Approval of Minutes

Motion to approve the July 6, 2016 Plan Commission Minutes was made by Commissioner Fishman and seconded by Commissioner Novoselsky.

Aye: Fishman, Novoselsky, Goldfein, Pauletto, and Yohanna

Nay: None

Motion Approved: 5-0

IV. Case #PC-12-16: Public Hearing: 6825 North Lincoln Avenue – Special Use and Variations

Chairman Yohanna announced Case #PC-12-16 for consideration of a Special Use and Variations for a redesigned off-street parking area between the existing building and Lincoln Avenue and to add parking between the existing building and Keystone Avenue at 6825 North Lincoln Avenue. Chairman Yohanna swore in the Petitioner and owner of the property Mr. Mike Klein.

Development Manager Cook presented an overview of the requested Special Use and Variations. The property located at 6825 North Lincoln Avenue is a 20,000-square-foot corner lot with frontage on Lincoln and Keystone Avenues. The property is within the B-1 Lincoln Avenue Business District and Mixed-Use Hub Overlay District and is abutted by residential properties to the rear of the property.

The requested actions include a Special Use and six Variations. The Special Use requested is for off-street parking in the front and corner side yards. There is already head-in parking between the building and Lincoln Avenue. The redesign is to allow ten new parking spaces along Keystone Avenue.

The first Variation requested is a Drive Aisle Width Variation as the Petitioner is proposing 13.7 feet rather than the required 16 feet. The second requested Variation is a Drive Aisle Variation for head-in parking on Keystone Avenue rather than parking stalls. The third Variation requested is a Parking Stall Width Variation as the Petitioner proposes angled parking on Lincoln Avenue with 45-degree angled parking stalls to be 8.5-feet wide instead of the required width of 9 feet. The fourth Variation requested is an Off-Street Parking Perimeter Landscape Variation as the Petitioner proposes to waive the requirement for eight-foot-wide perimeter landscaping islands on Lincoln and Keystone Avenues. The fifth Variation is an Off-Street Parking Interior Landscape Variation as the Petitioner proposes to waive the requirement for interior landscaped islands and plantings on Lincoln Avenue and island size on Keystone Avenue. There are also two sign Variations. The first requested Variation proposes to relocate the existing Airoom pole/pylon sign. Once relocated, the sign would be considered nonconforming and would require Special Sign Approval. The Petitioner also proposes to relocate the pole/pylon sign to five feet from the property line rather than the required ten feet.

Recommended conditions from the Development Review Team for approval include the following: 1) all replacement sidewalks must be at least five feet in width; 2) the final species and location of the proposed trees in the right-of-way to be approved by the Village; 3) all new parkway trees must have a minimum caliper of 2.5 inches; and 4) an IDOT permit will be required for proposed work within the Lincoln Avenue rights-of-way. If zoning action is approved, additional Village actions required would include: 1) Vacation of Keystone Avenue; and 2) a Plat of Consolidation which would formally consolidate the to-be-vacated portion of Keystone Avenue to the subject property which measures approximately 9 feet by 100 feet.

Mr. Klein stated the major advantage to this parking plan, beyond additional parking, is that this plan would make for a safer and better looking situation along Lincoln Avenue. The proposed parking along Keystone Avenue is to eliminate a dangerous condition along Lincoln Avenue and to reduce the number of vehicles in residential areas. Many of the Commissioners agreed that this is the best plan to balance the needs of Airoom and their parking requirements, as well as improving the safety and aesthetics of this area. It was noted that vehicles are parking on Keystone Avenue adjacent to the alley which is painted yellow as a no parking zone and what could be done to ensure that vehicles do not park there in the future.

There was discussion regarding the proposed landscape plan. Mr. Klein felt that this is was best possible landscape plan. Mr. Klein said he would donate to the tree bank if the landscape plan did not meet current zoning requirements. Commissioner Goldfein commented that no effort was made to preserve any of the mature trees and the proposed landscape plan was incomplete. Mr. Klein stated that two trees would be planted to replace the four trees that will be removed.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Listed below are comments from members of the audience.

Ms. Georgia Talaganis, 3955 West Estes Avenue, spoke on behalf of the Friends of the Lincolnwood Library, said that this area should preserve the rights of the neighborhood and for people using the library and does not see how this plan is safe.

Mr. Joseph Nofari, 6924 Keystone Avenue, said that he likes the Lincoln Avenue portion of the plan, but does not see how selling public property to a private individual benefits the public.

Ms. Doris Guthman, 7136 Kedvale Avenue, stated that Airoom's business seems to flourish even without this new parking.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Let the record state that no one came forward.

Motion to recommend approval of the Special Use and Variations was made by Commissioner Fishman and seconded by Commissioner Sampen to include the Development Review Team's recommended conditions including: all replacement sidewalks must be at least five feet in width; the final species and location of the proposed trees in the right-of-way to be approved by the Village; all new parkway trees must have a minimum caliper of 2.5 inches; an IDOT permit will be required for proposed work within the Lincoln Avenue rights-of-way; vacation of Keystone Avenue; and a Plat of Consolidation which would formally consolidate the to-be-vacated portion of Keystone Avenue to the subject property; a covenant to run with the land restricting the property for parking only and to recommend to the Traffic Commission whether to allow a tow zone to the north of the property adjacent to the alley on Keystone Avenue, and for the Petitioner make a contribution to the tree bank.

Aye: Fishman, Sampen, Goldfein, Novoselsky, Pauletto, Sampen, and Yohanna

Nay: None

Motion Approved: 6-0

V. Case #PC-13-16: Public Hearing: 6430 North Hamlin Avenue – Special Use

Chairman Yohanna announced Case #PC-13-16 to consider Hatzalah Chicago to operate 24 hours a day exceeding permitted hours of operation for 6430 North Hamlin Avenue. Chairman Yohanna swore in the Petitioner Mr. Craig Frank.

Development Manager Cook outline Hatzalah Chicago's Special Use request to allow an emergency medical service business 24 hours a day at 6430 North Hamlin Avenue. The property is located within the M-B Manufacturing/Business District. The Zoning Code requires that any business that operates before 7:00 a.m. and after 11:00 p.m. within 150 feet of a residentially zoned property must seek Special Use approval. Hatzalah Chicago was previously granted a Special Use in April 2015. Since they have not yet opened their business at the Hamlin address, their Special Use request expired and Hatzalah Chicago would like to extend this request.

Mr. Frank reiterated the nature of their business and stated the reason for the delay in opening their facility is that Hatzalah Chicago is an all-volunteer organization and the extension is necessary as their fundraising took longer than anticipated. Mr. Frank said that plans have been submitted for a building permit.

Chairman Yohanna asked if there was anyone in the audience who would like to address the Plan Commission regarding this Public Hearing. Listed below are comments from members of the audience.



Plan Commission Staff Report

Case # PC-12-16

August 24, 2016

Subject Property:

6825 North Lincoln Avenue

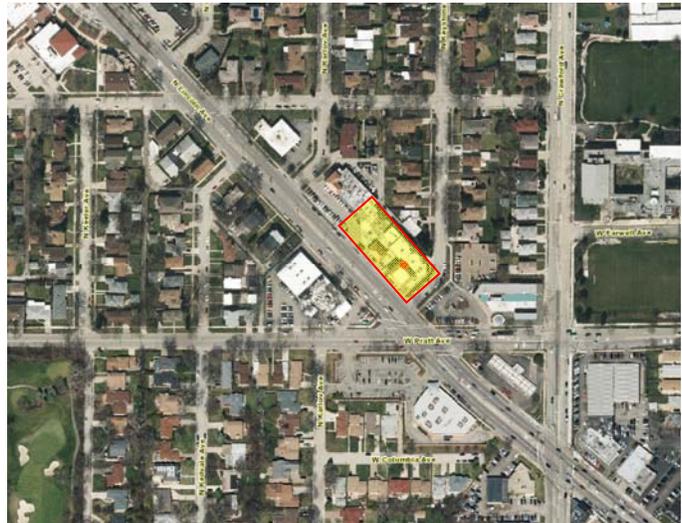
Zoning District:

B-1 Traditional Business District and
Mixed Use Hub Overlay

Petitioner:

Lamb Corporation, Property Owner
(Airoom LLC)

Nature of Request: Proposed off-street parking redesign and new construction of off-street parking at 6825 North Lincoln Avenue.



Requested Action:

Special Use to allow off-street parking area to the front and corner side of the existing retail building (Section 7.06(5)).

Variations:

1. Minimum Drive Aisle Dimensions (Section 7.06(6) & Table 7.06.01);
2. Minimum Off-Street Parking Stall Width (Section 7.06(6) & Table 7.06.01);
3. Minimum Perimeter Landscape Requirement for Off-Street Parking Lots (Section 6.14);
4. Minimum Interior Landscape Requirements for Off-Street Parking Lots (Section 6.14);
5. Special Sign Approval for Pole/Pylon Sign (Section 11.10(1)iv);
6. Freestanding Sign Setback (Section 11.10(1)iv.5); and
7. Freestanding Sign Landscaping (Section 11.10(1)iv.10).

Notification: Notice in Lincolnwood Review August 4, 2016, Public Hearing Sign Installed at 6825 North Lincoln Avenue, and Mailed Legal Notices Dated August 1, 2016 to Properties within 250 Feet.

Summary of Request

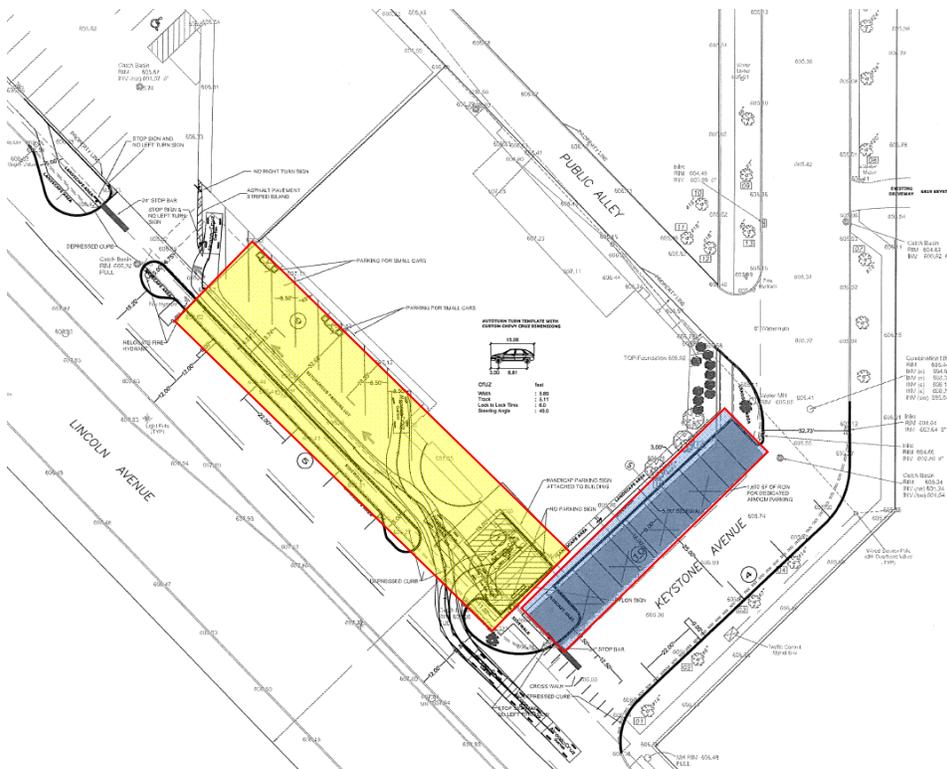
Lamb Corporation (“Petitioner”), property owner of 6825 North Lincoln Avenue which is the headquarters of Airoom LLC, seeks Special Use Approval, Site/Landscape Variations, and Sign Relief approvals associated with an off-street parking project. The property is

approximately 20,106-square feet in area and is a corner lot with frontage on Lincoln Avenue and Keystone Avenue.

The project includes two separate but related off-street parking improvements: 1) adding parking on Keystone Avenue; and 2) redesign of parking in front of the existing building along Lincoln Avenue. The proposed improvements trigger the need for several Village approvals. These requests can be summarized as: 1) parking location approval; 2) relief from parking lot bulk regulations; and 3) associated sign approvals.

Keystone Avenue Parking Improvements (highlighted below in blue): Currently, parallel parking is permitted on Keystone Avenue. The Petitioner proposes an addition of 10 head-in parking spaces along Keystone Avenue. The proposed parking is located within an area that is currently a portion of the Keystone Avenue right-of-way. The Village will need to vacate a portion of Keystone Avenue in order for the Petitioner to execute the plan. This is a separate process and is not before the Plan Commission at this time.

Lincoln Avenue Parking Improvements (highlighted below in yellow): Currently, the property is improved with head-in parking from Lincoln Avenue. The Petitioner indicates that the head-in parking is a dangerous condition for customers, and the project is intended to create safer ingress/egress to the property. To do so, the Petitioner seeks to eliminate head-in parking from Lincoln Avenue and redesign the parking area to include angled parking accessed by a drive aisle.

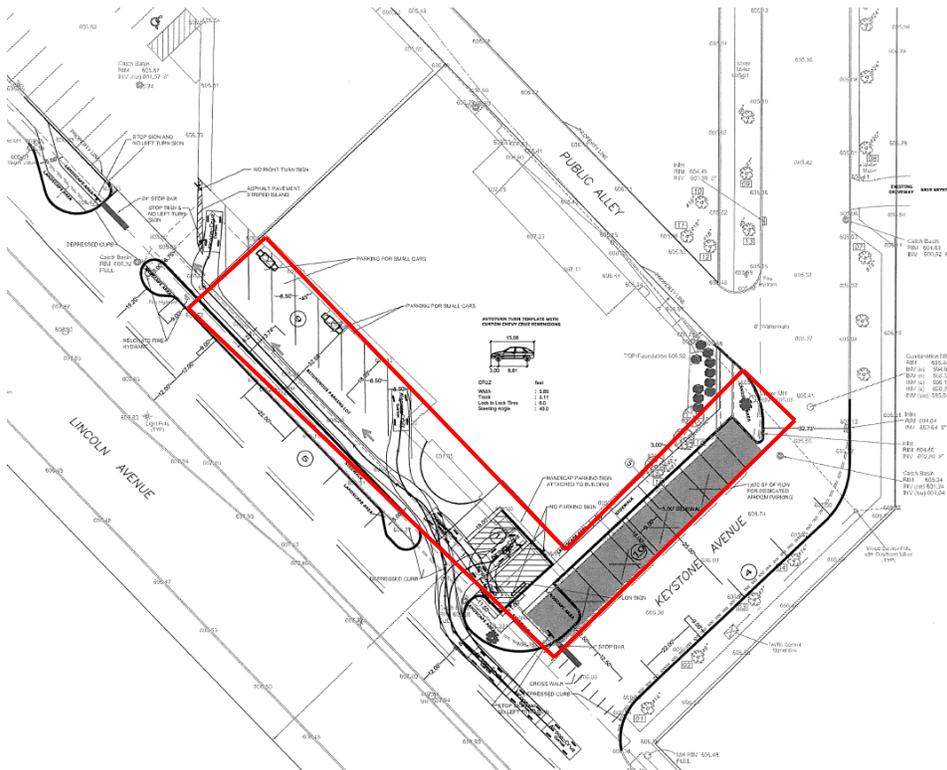


Before the Plan Commission are both the Special Use request and the Variation request. The Village of Lincolnwood, through Home Rule authority, has created a process in which

the Plan Commission considers zoning Variations when they are requested along with a Special Use. This process is intended to streamline the hearing process for the benefit of the applicant.

Special Use

Off-Street Parking Location: The Zoning Code, Section 7.06(5), permits off-street parking in any yard except a front yard and a yard abutting a street. In order to redesign and/or install new off-street parking in a front and yard abutting a street (“Front Yard Parking”), a Special Use is required. The Village recently modified the review process from a Variation to a Special Use to approve Front Yard Parking. The Village has recently reviewed and approved Front Yard Parking requests at Lou Malnati’s, Dr. Izvanariu at 7373 Cicero Avenue, and 3701 West Touhy Avenue (new retail building).



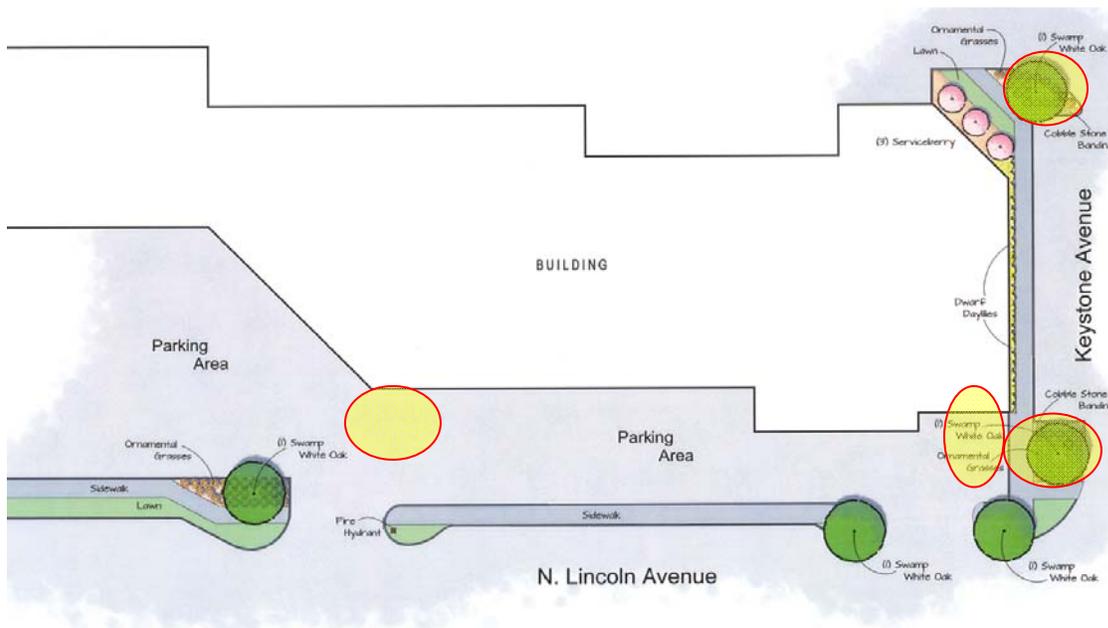
The new head-in parking along Keystone Avenue and the redesigned parking along Lincoln Avenue are in areas considered Front Yard Parking. The site plan above includes an area outlined in red to identify on the subject property where off-street parking is not allowed per the Zoning Code. The existing building occupies much of the subject property which results in the majority of the property unable to be improved for parking without Special Use Approval.

Site Plan Variations

1. Drive Aisle Width Variation: The Zoning Code requires a minimum drive aisle width of 16 feet for one-way drives accessing 45-degree parking. The redesigned Lincoln Avenue parking area drive aisle is proposed at 13.7 feet.
2. Drive Aisle Variation: The Keystone Avenue parking area requires a drive aisle Variation as parking spaces are to be accessed by private drives. Given the head-in

design of the Keystone Avenue parking, no drive aisle has been provided and, as a result, a Variation is required.

3. Parking Stall Width Variation: The Zoning Code requires a minimum parking stall width of 9 feet for 45-degree parking stalls. The redesigned Lincoln Avenue parking stalls are proposed to be 8.5 feet in width.
4. Off-Street Parking Perimeter Landscape Variation: The Zoning Code requires a minimum perimeter landscape width of eight feet. The Petitioner has not provided any perimeter landscape area for either the Keystone Avenue parking improvements or the Lincoln Avenue parking improvements.
5. Off-Street Parking Interior Landscape Variation: The Petitioner seeks relief from the minimum interior landscape requirements of the Zoning Code. The highlighted areas of the site plan below represent the locations of the required landscape islands at the ends of each row of parking for which the Petitioner is seeking relief.



More specifically, the highlighted areas represent locations of required landscape islands. Landscape islands are to be 9' x 18' at the ends of each row of parking. The Keystone Avenue parking includes landscape areas with trees at the end of the row of parking. However, a Variation is required because the landscape areas do not comply with the minimum 9' x 18'. The Lincoln Avenue parking has not been designed to include landscape areas at the end of the row of parking.

The Petitioner has indicated that the requested site plan Variations detailed in this report are necessary because the strict application of the Zoning Code requirements would be prohibitive to the redesign of the off-street parking area.

Sign Relief

Special Sign Approval Pole/Pylon Sign: As part of the Lincoln Avenue parking redesign, the existing Airoom pylon sign will be relocated. Nonconforming signs, such as the Airoom sign, are no longer considered nonconforming if the sign is relocated (Section 11.11(3)). Therefore, the Airoom sign requires Special Sign Approval. The Zoning Code includes the following factors and conditions relative to Special Signs:

Conditions:

- (1) A monument sign would not be feasible due to obstruction of the line of sight triangle;
- (2) The existence of driveways, driveway approaches, interior drive aisles, and parking areas would cause insufficient area to install a monument sign;
- (3) The existence of trees, shrubbery, or vegetation would adversely impact the visibility of a monument sign; or
- (4) The existence of underground utilities would prevent or interfere with the installation of a foundation for a monument sign.

Special Sign Facts:

- (1) The Special Sign will serve the public convenience at the location of the subject sign; or that the establishment, maintenance, or operation of the Special Sign will not be detrimental to or endanger the visibility, public safety, comfort or general welfare;
- (2) The Special Sign will be in harmony and scale with the architecture of the building(s) in the development and with other signs in the neighborhood;
- (3) The Special Sign will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted; nor substantially diminish and impair other property valuations within the neighborhood; nor impair the visibility of adjacent signs;
- (4) The nature, location, and size of the sign(s) involved with the establishment of the Special Sign will not impede, substantially hinder, or discourage the installation of signs on adjacent property in accordance with this article;
- (5) The Special Sign satisfies all specific requirements and conditions set forth in this Section 11.10; and
- (6) The Special Sign shall in all other respects conform to the applicable regulations of this article.

Relative to above item #5, Section 11.10 of the Zoning Code provides all the bulk regulations for Special Signs (i.e. height, area, design, setback, etc.).

Freestanding Sign Variation:

- (1) The relocation of the pole/pylon sign is proposed at approximately five feet from the Lincoln Avenue lot line where a minimum ten-foot setback is required.
- (2) The Zoning Code requires that pylon signs be located in a landscape area separated and protected from vehicular circulation and parking areas. The new sign location does not comply with this standard as it is located at the edge of what would be considered the off-street parking area along Lincoln Avenue.

- (3) The Zoning Code requires a minimum of two square feet of landscaping for every one square foot of sign face, to be installed at the base of the sign. As indicated previously, the new location of the pylon sign is in an area considered part of the off-street parking area along Lincoln Avenue with no landscape area. Therefore, the Petitioner seeks a Variation from the landscaping requirement at the base of the sign.

Conclusion

Lamb Corporation seeks a Special Use approval and certain Variations to allow the redesign of an existing off-street parking area along Lincoln Avenue and the new construction of an off-street parking area along Keystone Avenue at 6825 North Lincoln Avenue. In total, the project requires:

Special Use to allow off-street parking area to the front and corner side of the existing retail building (Section 7.06(5)).

Variations:

1. Minimum Drive Aisle Dimensions (Section 7.06(6) & Table 7.06.01);
2. Minimum Off-Street Parking Stall Width (Section 7.06(6) & Table 7.06.01);
3. Minimum Perimeter Landscape Requirement for Off-Street Parking Lots (Section 6.14);
4. Minimum Interior Landscape Requirements for Off-Street Parking Lots (Section 6.14);
5. Special Sign Approval for Pole/Pylon Sign (Section 11.10(1)iv));
6. Freestanding Sign Setback (Section 11.10(1)iv.5); and
7. Freestanding Sign Landscaping (Section 11.10(1)iv.10).

Prior to filing for the public hearing, the Development Review Team reviewed and provided reports on the proposal. Attached is the report from that review. A summary of the review comments and recommendations are found on page 2 of the document. Staff has not received any calls from the public regarding this application.

If the requested zoning action is approved, the Petitioner will require addition Village action including:

1. Village vacation of a portion of Keystone Avenue; and
2. Plat of Consolidation.

Documents Attached

1. Zoning Code Section 7.06(5)
2. Zoning Code Section (Section 7.06(6) & Table 7.06.01)
3. Zoning Code Section 6.14
4. Zoning Code Section 11.10(1)iv
5. Public Hearing Special Use Application
6. Public Hearing Variation Application
7. Photographs of Subject Property
8. Proof of Ownership
9. Development Review Team Summary
10. Plat of Survey
11. Existing Topography Plan
12. Proposed Site Plan w/Autoturn
13. Proposed Landscape Plan

Board Action Standards For Granting Relief

In determining whether in a specific case there are practical difficulties or particular hardships in the way of carrying out the strict letter of this Zoning Ordinance, the following standards shall be taken into consideration the extent to which the following facts are established:

<u>STANDARDS</u>	<u>Yes</u>	<u>No</u>
<i>a. The requested major variation is consistent with the stated intent and purposes of this Zoning Ordinance and the Comprehensive Plan;</i>		
Notes:		
<i>b. The particular physical surroundings, shape or topographical conditions of the subject property would bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of this Zoning Ordinance is enforced;</i>		
Notes:		
<i>c. The conditions upon which the petition for the variation is based would not be applicable generally to other property within the same zoning district;</i>		
Notes:		
<i>d. The variation is not solely and exclusively for the purpose of enhancing the value of or increasing the revenue from the property;</i>		
Notes:		
<i>e. The alleged difficulty or hardship has not been created by any person presently having an interest in the property;</i>		
Notes:		
<i>f. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located;</i>		
Notes:		
<i>g. The variation granted is the minimum change to the Zoning Ordinance standards necessary to alleviate the practical hardship on the subject property;</i>		
Notes:		
<i>h. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.</i>		
Notes:		

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Village of Lincolnwood, IL
Friday, April 8, 2016

Chapter 15. Zoning

Article VII. OFF-STREET PARKING AND LOADING

7.06. General standards for off-street parking facilities.

Off-street parking facilities shall be provided in accordance with regulations hereinafter set forth.

- (1) Use. Off-street parking facilities required herein listed shall be solely for the parking of automobiles of patrons, occupants, or employees. When bus transportation is provided for patrons, occupants or employees of a specific establishment, additional open or enclosed off-street parking spaces for each bus to be parked on the premises shall be provided in accordance with subsection 7.06(4) through (7) of this article.
- (2) Computation. When determination of the number of off-street parking spaces required by this Zoning Ordinance results in a requirement of a fractional space, any fraction of 1/2 or less may be disregarded while a fraction in excess of 1/2 shall be counted as one parking space.
- (3) Access. Each required off-street parking space shall open directly upon an aisle or driveway of such width and design as to provide safe and efficient means of vehicular access to such parking space. All off-street parking facilities shall be designed with appropriate means of vehicular access to a street or alley in a manner which will least interfere with traffic movement.
- (4) Handicapped accessible spaces. The minimum number and dimension of parking spaces set aside as handicapped spaces shall be provided in accordance with the standards of the of the Illinois Capitol Development Board, as set forth in Illinois Accessibility Code, dated April 24, 1997, as may be amended from time to time.
- (5) In yards. Subject to the provisions set forth in this Section 7.06, open-air, off-street parking spaces may be located in: (a) any rear yard, in any zoning district; and (b) in a front yard or a side yard abutting a street, but only within the B-1, B-2, B-3, O-1, M-B, and P Districts, and only upon the issuance of a special use permit therefor pursuant to the procedures set forth in Section 5.17 of this Zoning Ordinance. [Amended 2-2-2016 by Ord. No. 2016-3189]
- (6) Design and maintenance.
 - a. Open and enclosed parking spaces. Parking spaces may be open-air or enclosed in a building and shall be accessed by a private drive that meets the following minimum aisle width standards:

Table 7.06.01

Parking Angle	Width (feet)	Length (feet)	One-Way (feet)	Two-Way (feet)
Parallel	9	22	12	20
30°	9	19	12	20
45°	9	19	16	20

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Print Resize: 

Village of Lincolnwood, IL
Friday, August 19, 2016

Chapter 15. Zoning

Article VII. OFF-STREET PARKING AND LOADING

7.06. General standards for off-street parking facilities.

Off-street parking facilities shall be provided in accordance with regulations hereinafter set forth.

- (1) **Use.** Off-street parking facilities required herein listed shall be solely for the parking of automobiles of patrons, occupants, or employees. When bus transportation is provided for patrons, occupants or employees of a specific establishment, additional open or enclosed off-street parking spaces for each bus to be parked on the premises shall be provided in accordance with subsection 7.06(4) through (7) of this article.
- (2) **Computation.** When determination of the number of off-street parking spaces required by this Zoning Ordinance results in a requirement of a fractional space, any fraction of 1/2 or less may be disregarded while a fraction in excess of 1/2 shall be counted as one parking space.
- (3) **Access.** Each required off-street parking space shall open directly upon an aisle or driveway of such width and design as to provide safe and efficient means of vehicular access to such parking space. All off-street parking facilities shall be designed with appropriate means of vehicular access to a street or alley in a manner which will least interfere with traffic movement.
- (4) **Handicapped accessible spaces.** The minimum number and dimension of parking spaces set aside as handicapped spaces shall be provided in accordance with the standards of the of the Illinois Capitol Development Board, as set forth in Illinois Accessibility Code, dated April 24, 1997, as may be amended from time to time.
- (5) **In yards.** Subject to the provisions set forth in this Section 7.06, open-air, off-street parking spaces may be located in: (a) any rear yard, in any zoning district; and (b) in a front yard or a side yard abutting a street, but only within the B-1, B-2, B-3, O-1, M-B, and P Districts, and only upon the issuance of a special use permit therefor pursuant to the procedures set forth in Section 5.17 of this Zoning Ordinance. [Amended 2-2-2016 by Ord. No. 2016-3189]

(6) **Design and maintenance.**

- a. Open and enclosed parking spaces. Parking spaces may be open-air or enclosed in a building and shall be accessed by a private drive that meets the following minimum aisle width standards:

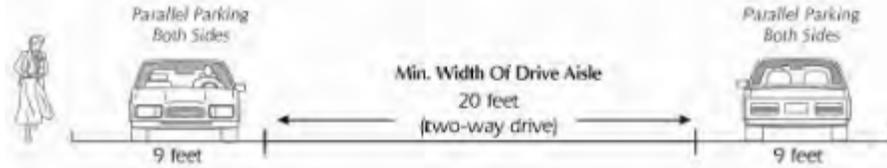
Table 7.06.01

Parking Angle	Width (feet)	Length (feet)	One-Way (feet)	Two-Way (feet)
Parallel	9	22	12	20
30°	9	19	12	20
45°	9	19	16	20

60°	9	18	19	20
90°	9	18	20	24
Compact	9	16	20	25

Notes:

- 1) Handicapped spaces: See 7.06(4) above.
- 2) All minimum parking stall dimensions are exclusive of access drives or aisles, ramps, columns, office or work areas.
- 3) Enclosed parking spaces shall have a vertical clearance of at least seven feet.



b. Surfacing:

i. In residential and business zones all open off-street parking areas (including a driveway used as a parking area) shall be improved with a durable pavement consisting of an all-weather asphalt, concrete pavement surface, pavers, or the equivalent in accordance with Village requirements, unless otherwise approved by the Administrative Officer. Alternative pavers, such as pervious concrete or natural stone, that reduce the overall surface coverage and lessen stormwater runoff are encouraged and may be approved by the Zoning Officer and Village Engineer in off-street parking areas, crosswalks, parking stalls, or in drive aisles.
 [Amended 3-2-2013 by Ord. No. 2013-3044]

ii. In the MB Zone all open off-street parking areas (including a driveway used as a parking area) shall be improved with a durable pavement consisting of an all-weather asphalt, concrete pavement surface, pavers, or the equivalent. This subsection shall not apply where an open off-street parking area (including a driveway used as a parking area) is not improved with the required durable pavement surface in conformance with Village requirements at the time of the adoption of this amendment to the Zoning Ordinance. In such cases, the gravel or other nonconforming surface of an open off-street parking area must be maintained in a first class condition. The failure to maintain any such gravel or other nonconforming surface in a first class condition, or reconfiguring or enlarging such nonconforming parking area (or driveway used as a parking area) will require that such parking area or driveway conform to all the regulations in this section requiring a durable pavement surface.

c. Screening and landscaping. All open parking areas containing four or more parking spaces, located less than 40 feet from the nearest property line of a lot in a residential district shall be effectively screened on each side adjoining or fronting on such property line by a wall, fence or densely planted compact hedge, consistent with Article VI, Site Development Standards.

d. Lighting. Any lighting used to illuminate off-street parking areas shall be directed away from residential properties in such a way as not to create a nuisance. Lighting in a parking area containing four or more parking spaces shall be extinguished not more than 1/2 hour after the close of business except as may otherwise be permitted or required by the Zoning Board of Appeals for maintaining illumination with less candle-power after the time specified above. Lighting shall be consistent with site development standards (Article VI, Section 6.07 of this Zoning Ordinance).

e. Repair and service. No motor vehicle repair work or service of any kind shall be permitted in

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Village of Lincolnwood, IL
Friday, March 13, 2015

Chapter 15. Zoning

Article VI. SITE DEVELOPMENT STANDARDS

Part D. Landscaping

6.14. Minimum landscape requirements for off-street parking lots.

- (1) Perimeter screening required. Every off-street parking lot or parking area containing, five or more parking spaces shall be set back, buffered and screened from public view and adjacent property by a perimeter landscaped area having a minimum width of eight feet, or, where screening shall consist of a masonry wall, a minimum width of five feet.
 - a. The minimum width for the perimeter screening area shall be measured from the property line and shall not include any parking overhang.
 - b. Screening within the perimeter setback area shall consist of a masonry wall, densely planted hedge or massing of shrubs resulting in a 75% semi-opaque screen within one year of installation, installed in a manner so as to inhibit public views of the parking area.
 - c. Perimeter screening shall be continuous, except for breaks as may be permitted for sidewalks, driveways and sight triangles.
 - d. Masonry walls used for perimeter screening shall have a minimum height of 30 inches and a maximum height of 36 inches. Such walls shall have a finished surface which is the same or closely similar to the masonry of the principal building.
 - e. Shrubs planted as perimeter screening shall be at least three feet in height at time of installation.
 - f. The surface of the perimeter setback area shall be suitably covered with grass, ground cover or similar vegetation and periodically mulched. Impervious materials such as asphalt, concrete or a layer of stone is prohibited.
 - g. A six-inch continuous poured-in-place concrete curb shall separate all drive and parking surfaces from landscape areas.
 - h. Upon petition, the ZBA may recommend a creative alternate perimeter screening plan of berms, walls, shrubs, trees or other material, which has the effect of providing a minimum three-foot high visual screen of parking areas.

(2) Interior landscaping requirements.

- a. A planting island equal in area to a parking space shall be located at each end of a parking row and after each 20 parking spaces within a parking row.
- b. One tree shall be required for each planting island required in Section 6.14(2)(a) above.
- c. The surface of the planting island shall be suitably covered with grass, ground cover or similar vegetation and periodically mulched. Impervious materials such as asphalt, concrete or a layer of stone is prohibited.
- d. A six-inch continuous poured in place curb shall separate and surround all interior landscape island areas.
- e. All areas within or at the edges of parking lots which are greater than 50 square feet and not designed for parking stalls, drive aisles or shopping cart collection points, shall be curbed and landscaped with sod, ground cover, bushes or trees.
- f. All landscaped islands shall have a minimum topsoil depth of three feet and mounded to a center height of six to 12 inches above top of curb height.

square feet in area; and (b) six feet in height from the finished grade.

iii. Rooftop flagpoles.

1. The sign permit application shall include a plan identifying the location of the proposed rooftop flagpole, which plan shall conform with the following:
 - (1) No more than one rooftop flagpole, may be erected on any lot;
 - (2) The height of any rooftop flagpole shall not project higher than 15 above the building or structure height permissible in the underlying zoning district;
 - (3) The flagpole and all anchor brackets must be manufactured and installed consistent with industry standards, and shall withstand stresses as required by the Building Code;
 - (4) No flag may exceed the size of the flag prescribed by industry standards for the particular flagpole sought to be installed;
 - (5) The rooftop flagpole must be located so that it is perpendicular to the roof of the building or structure upon which it is located;
 - (6) No pole or structural part thereof shall project beyond the edge of the roof upon which it is located; and
 - (7) No more than two flags may be displayed from any rooftop flagpole.
2. The pole structure and supports shall, at a minimum, conform to all applicable provisions of this article and of the Village Code.

iv. Pole/pylon signs.

1. Number.
 - (1) No more than one pole/pylon sign per lot or unified business center, each of which has a minimum front footage of 100 feet along a single street, shall be permitted, except that pole/pylon identification signs (directory signs) in lieu of wall signs shall be permitted in a multi-tenant office or industrial building if each tenant has a separate at-grade entrance, which sign shall be located at the entrance to the tenant's space and shall not exceed 10 square feet and six feet in height from finished grade.
 - (2) Sign copy for single tenant pole/pylon sign shall contain no more than 10 words and graphic elements greater than two inches in height.
 - (3) Sign copy for a multi-tenant pole/pylon sign shall contain a maximum of a combination of 24 words and graphic elements no greater than two inches in height. Changeable copy signage shall not be combined with multi-tenant signs.

- (4) Pole/pylon signs on properties with multiple street frontages shall be oriented perpendicular to the primary street right-of-way.
2. Height. No pole/pylon sign shall exceed 18 feet in height from finished grade.
3. Area. No pole/pylon sign shall exceed 48 square feet per sign face for a single-tenant property, or 48 square feet plus six square feet for each tenant over five tenants, up to a maximum of 60 square feet per sign face for a multiple-tenant property.
4. Building clearance. No pole/pylon sign shall be located closer than 10 feet to a building, except that a pole/pylon sign four feet in height or less may be as close as three feet from a building.
5. Setback. No pole/pylon sign shall be located closer than 10 feet to an exterior property line, nor closer than 50 feet to an interior property line. For a pole/pylon sign constructed at a unified business center, under multiple ownerships, interior lot lines shall only pertain to the outermost lot line.
6. Public service sign display. A pole/pylon sign may incorporate a public service sign display.
7. Distance measurement. The location of a pole/pylon sign shall be measured as the distance between the point of reference specified and the closest point on the sign.
8. Sight triangle. A pole/pylon sign located in a sight triangle shall be either a maximum of three feet in height to the top of the sign, or not less than eight feet from the finished grade to the bottom of the sign.
9. Overhang. No pole/pylon sign may overhang any part of a structure, parking or loading space, driveway or maneuvering aisle.
10. Landscaping. A pole/pylon sign must be located in a landscaped area separated and protected from vehicular circulation and parking areas. A minimum of two square feet of landscaping shall be required for every one square foot of sign face. When located in a parking area, continuous reinforced perimeter Portland cement concrete curbing is required.
11. Gas station. Changeable copy used in a gas station pole/pylon sign shall be included in the maximum sign area for an allowable pole/pylon sign. Gas station signs must incorporate the changeable copy price information into the main identification sign face. Only gasoline price signs accessory to gasoline service stations will be permitted to have manual or electronic changeable copy.
12. Sign design and glare reduction. To minimize glare, the illumination of an internally illuminated pole/pylon sign shall not exceed the following requirements:
[Amended 9-20-2011 by Ord. No. 2011-2962]
 - (1) Seventy-five footcandles, measured perpendicular to the face of the sign from a distance equal to the narrowest dimension of the sign;

- (2) When the sign is located in a residential zoning district, 25 footcandles measured perpendicular to the face of the sign from a distance equal to the narrowest dimension of the sign; or
- (3) One footcandle on adjoining residential property, measured three feet above the ground.

13. Special sign conditions. A pole/pylon sign shall be allowed as a special sign only if the proposed pole/pylon sign meets the special sign requirements set forth in Subsection 11.10(5) of this article and any one of the additional following conditions:

- (1) A monument sign would not be feasible due to obstruction of the line of sight triangle;
- (2) The existence of driveways, driveway approaches, interior drive aisles and parking areas would cause insufficient area to install a monument sign;
- (3) The existence of trees, shrubbery or vegetation would adversely impact the visibility of a monument sign; or
- (4) The existence of underground utilities would prevent or interfere with the installation of a foundation for a monument sign.

(2) Special signs on public rights-of-way. No portion of any special sign may encroach in, on, over, under or above any public right-of-way, except: (a) governmental signs; and (b) signs conforming to the requirements of Chapter 9, Article 13, of the Village Code.

[Amended 12-6-2011 by Ord. No. 2011-2979]

(3) Initiation. An application for a special sign approval may be made by the owner of the subject property or an authorized representative thereof. Applications for approval of a special sign must include, without limitation, the sign permit application submitted pursuant to Section 11.09 of this article for the proposed sign.

(4) Processing. An application for a special sign approval, in such form and accompanied by such information as shall be established from time to time by the ZBA, shall be filed with the Zoning Officer and thereafter processed in the same manner prescribed for variations under Section 5.15(5) of this Zoning Ordinance.

(5) Decisions. The Board of Trustees, upon report and recommendation of the ZBA and without further hearing, may approve or deny an application for a special sign approval, or may refer it back to the ZBA for further consideration. In determining whether to approve or deny an application for a special sign approval, there shall be taken into consideration the extent to which the following facts are established:

- i. The special sign will serve the public convenience at the location of the subject sign; or that the establishment, maintenance or operation of the special sign will not be detrimental to or endanger the visibility, public safety, comfort or general welfare;



VILLAGE OF LINCOLNWOOD
Community Development Department

Public Hearing Application
Special Use and PUD

SUBJECT PROPERTY

Property Address: 6825 N. LINCOLN AVENUE

Permanent Real Estate Index Number(s): 10-34-229-014 (-015, -016, -017, -028)

Zoning District: B1 Lot Area: 20,106.25 SF

List all existing structures on the property. Include fencing, sheds, garages, pools, etc.

2-3 STORY COMMERCIAL BUILDING WITH PARKING

(AIROOM LLC HEADQUARTERS)

Are there existing development restrictions affecting the property? Yes No

(Examples: previous Variations, conditions, easements, covenants) If yes, describe: _____

Sign Variation, Setback Variation

REQUESTED ACTION

- | | |
|---|---|
| <input type="checkbox"/> Special Use - Residential | <input type="checkbox"/> Planned Unit Development (PUD) |
| <input checked="" type="checkbox"/> Special Use - Non-Residential | <input type="checkbox"/> Other |

PROJECT DESCRIPTION

Describe the Request and Project: TO ALLOW OFF-STREET PARKING BETWEEN

BUILDING AND STREET AS PART OF AIROOM

BUILDING PARKING IMPROVEMENTS

PROPERTY OWNER/PETITIONER INFORMATION

Property Owner(s): (List all Beneficiaries if Trust)

Name: LAMB CORPORATION (AIROOM LLC)

Address: 6825 N. LINCOLN, LINCOLNWOOD, IL 60712

Telephone: (847) 213-5240 Fax: (847) 674-0794 E-mail: scervantes@airoom.com

Petitioner: (if Different from Owner)

Name: _____ Relationship to Property: _____

Address: _____

Telephone: (____) _____ Fax: (____) _____ E-mail: _____

REQUIRED ATTACHMENTS

Check all Documents that are Attached:

Plat of Survey	<u>✓</u>	Applicable Zoning Worksheet	<u>N/A</u>
Site Plan	<u>✓</u>	Photos of the Property	<u>✓</u>
Proof of Ownership	<u>✓</u>	PDF Files of all Drawings	<u>✓</u>
Floor Plans	<u>N/A</u>	Elevations	<u>N/A</u>

*The above documents are required for all applications. The Zoning Officer may release an applicant from specific required documents or may require additional documents as deemed necessary.

COST REIMBURSEMENT REQUIREMENT

The Village requires reimbursement of certain out-of-pocket costs incurred by the Village in connection with applications for zoning approvals and relief. These costs include, but are not limited to, mailing costs, attorney and engineer costs, and other out-of-pocket costs incurred by the Village in connection with this application. In accordance with Section 5.02 of the Village of Lincolnwood Zoning Ordinance, both the petitioner and the property owner shall be jointly and severally liable for the payment of such out-of-pocket costs. Out-of-pocket costs incurred shall be first applied against any hearing deposit held by the Village, with any additional sums incurred to be billed at the conclusion of the hearing process.

Invoices in connection with this application shall be directed to:

Name: SHERIE CERVANTES, AIRROOM LLC
Address: 6825 N. LINCOLN AVE
City, State, Zip: LINCOLNWOOD, IL 60712

ATTESTMENT AND SIGNATURE

I hereby state that I have read and understand the Village cost reimbursement requirement, as well as the requirements and procedures outlined in Article V of the Village Zoning Ordinance, and I agree to reimburse the Village within 30 days after receipt of an invoice therefor. I further attest that all statements and information provided in this application are true and correct to the best of my knowledge and that I have vested in me the authority to execute this application.

PROPERTY OWNER:

Signature

MICHAEL KLEIN

Print Name

6/24/16
Date

PETITIONER: *(if Different than Property Owner)*

Signature

Print Name

Date

**EXPLANATION OF VARIATION & SPECIAL USE
VILLAGE OF LINCOLNWOOD
6825 N. LINCOLN AVENUE – AIROOM LLC
SPECIAL USE STANDARDS**

To be approved, each Special Use request must meet certain specific standards. These standards are listed below. After each listed standard, explain how the Special Use request satisfies the listed standard.

- 1. Please explain how the Special Use is necessary for the public convenience at this location and the subject property is deemed suitable for the use.**

The Airoom Headquarters building at 6825 North Lincoln Avenue is proposing to update and improve the available parking on its property and in the direct vicinity (Keystone Avenue). As part of this modernization, off-street parking is proposed between the Airoom building and Lincoln Avenue (on the west) and Keystone Avenue (on the south) – this is not permitted as-of-right between a building and the street, and so a SUP is required.

- 2. Please explain how the Special Use is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected.**

The overall objective of this project is to improve the parking situation at this intersection, which by extension will protect the public safety in this vicinity. By improving the access to parking in front of 6825 Lincoln through the use of a single access point, the potential danger of reversing onto Lincoln Avenue will be eliminated. Additional parking is proposed for Keystone that will mostly take the form of end-in parking that will face the Airoom building and will compensate for those spaces lost in front of the building based on the revised, safer design.

- 3. Please explain how this Special Use would not cause substantial injury to the value of other property in the neighborhood in which it is located.**

Since parking in this area has been a cause for concern, the proposal will improve the access for vehicles on Lincoln Avenue, while keeping Airoom employee parking in an orderly location on Keystone Avenue. There is no proposal for extending parking past the alley on Keystone Avenue (as was suggested in previous proposals for this area) and into the residential area, so property values will not be impacted by this proposal.

- 4. The Special Use is consistent with the goals and policies of the Comprehensive Plan.**

**EXPLANATION OF VARIATION & SPECIAL USE
VILLAGE OF LINCOLNWOOD
6825 N. LINCOLN AVENUE – AIROOM LLC**

The request is consistent with the goal to promote the growth and redevelopment of business and commercial areas and to reduce land use conflicts between residential and non-residential uses. It will certainly establish and maintain a positive community identity along arterial streets and will improve the appearance of community gateways and arterial corridors.

- 5. The Special Use would not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the underlying Zoning District.**

Since the work will be taking place within the existing Airoom/Village of Lincolnwood (ROW) and IDOT property, there will not be a detrimental impact on the orderly development of the surrounding properties.

- 6. Please explain how the Special Use is so designed to provide adequate utilities, access roads, drainage, or necessary facilities.**

The existing conditions will be maintained with respect to the roadways and drainage situations. The Public Works Department has reviewed the proposed plans and while they have made some minor comments (i.e. sidewalk size and tree replacement), are in general agreement with the overall concept.

- 7. Please explain how the Special Use is so designed to provide ingress and egress to minimize traffic congestion on public streets.**

This plan has come to fruition specifically on the on the basis of the need to improve the congestion on both Lincoln Avenue and Keystone Avenue. The plan is designed to minimize traffic congestion on both these streets while dramatically improving the current dangerous situation on Lincoln Avenue.



VILLAGE OF LINCOLNWOOD Public Hearing Application Community Development Department Variations

SUBJECT PROPERTY

Property Address: 6825 N. LINCOLN AVENUE

Permanent Real Estate Index Number(s): 10-34-229-014 (-015, -016, -017, -028)

Zoning District: B1 Lot Area: 20,106.25 SF

List all existing structures on the property. Include fencing, sheds, garages, pools, etc.

2+3 STORY COMMERCIAL BUILDING WITH PARKING
(AIROOM LLC HEADQUARTERS)

Are there existing development restrictions affecting the property? Yes No

(Examples: previous Variations, conditions, easements, covenants) If yes, describe: _____

SIGN VARIATION, SETBACK VARIATIONS

REQUESTED ACTION

- | | |
|---|--|
| <input type="checkbox"/> Variation - Residential | <input type="checkbox"/> Variation - Signs/Special Signs |
| <input checked="" type="checkbox"/> Variation - Non-Residential | <input type="checkbox"/> Minor Variation |
| <input type="checkbox"/> Variation - Off-Street Parking | <input type="checkbox"/> Other |
| <input type="checkbox"/> Variation - Design Standards | |

PROJECT DESCRIPTION

Describe the Request and Project: PARKING (drive aisle and stall dimensions),
LANDSCAPING AND SIGN VARIATIONS AS PART OF AIROOM SITE DEVELOPMENT

PROPERTY OWNER/PETITIONER INFORMATION

Property Owner(s): (List all Beneficiaries if Trust)

Name: LAMB CORPORATION (AIROOM LLC)

Address: 6825 N. LINCOLN, LINCOLNWOOD, IL 60712

Telephone: (847) 213-5240 Fax: (847) 674-0794 E-mail: scervantes@airoom.com

Petitioner: (if Different from Owner)

Name: _____ Relationship to Property: _____

Address: _____

Telephone: (____) _____ Fax: (____) _____ E-mail: _____

NOTICE OF REASONABLE ACCOMMODATION PROCESS

An alternate process is provided by the Village for persons with disabilities or handicaps who seek a Reasonable Accommodation from the Zoning Code regulations in order to gain equal access to housing. If you seek a Reasonable Accommodation from the Zoning Code based on disability or handicap, do not complete this application form, but rather a separate application for Reasonable Accommodation. For more information on this process, consult Section 4.06(3) of the Zoning Code, or contact the Community Development Department at 847.673.7402.

REQUIRED ATTACHMENTS

Check all Documents that are Attached:

Plat of Survey	<input checked="" type="checkbox"/>	Applicable Zoning Worksheet	<input type="checkbox"/> N/A
Site Plan	<input checked="" type="checkbox"/>	Photos of the Property	<input checked="" type="checkbox"/>
Proof of Ownership	<input checked="" type="checkbox"/>	PDF Files of all Drawings	<input checked="" type="checkbox"/>
Floor Plans	<input type="checkbox"/> N/A	Elevations	<input type="checkbox"/> N/A

*The above documents are required for all applications. The Zoning Officer may release an applicant from specific required documents or may require additional documents as deemed necessary.

COST REIMBURSEMENT REQUIREMENT

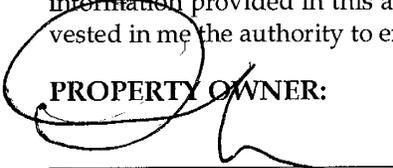
The Village requires reimbursement of certain out-of-pocket costs incurred by the Village in connection with applications for zoning approvals and relief. These costs include, but are not limited to, mailing costs, attorney and engineer costs, and other out-of-pocket costs incurred by the Village in connection with this application. In accordance with Section 5.02 of the Village of Lincolnwood Zoning Ordinance, both the petitioner and the property owner shall be jointly and severally liable for the payment of such out-of-pocket costs. Out-of pocket costs incurred shall be first applied against any hearing deposit held by the Village, with any additional sums incurred to be billed at the conclusion of the hearing process.

Invoices in connection with this application shall be directed to:

Name: SHERIE GERVANTES, AIRROOM LLC
Address: 6825 N. LINCOLN AVE.,
City, State, Zip: LINCOLNWOOD, IL 60712

ATTESTMENT AND SIGNATURE

I hereby state that I have read and understand the Village cost reimbursement requirement, as well as the requirements and procedures outlined in Article V of the Village Zoning Ordinance, and I agree to reimburse the Village within 30 days after receipt of an invoice therefor. I also understand that if I desire a Reasonable Accommodation from the Zoning Code based on disability or handicap, that I must complete and submit a different application for consideration and by submitting this application for a Variation, I am attesting that I am not seeking a Reasonable Accommodation. I further attest that all statements and information provided in this application are true and correct to the best of my knowledge and that I have vested in me the authority to execute this application.

PROPERTY OWNER:


Signature
MICHAEL KLEIN

Print Name
6/24/16

Date

PETITIONER: (if Different than Property Owner)

Signature

Print Name

Date

**EXPLANATION OF VARIATION & SPECIAL USE
VILLAGE OF LINCOLNWOOD
6825 N. LINCOLN AVENUE – AIROOM LLC**

REASON FOR THE REQUEST:

The Airoom Companies intend to update the front parking area adjacent to Lincoln Avenue (State of Illinois Road) in addition to revising the Keystone Avenue layout, to provide more client and employee friendly access to the building along with significantly safer and more attractive access point to the company's flagship building.

STANDARDS FOR GRANTING A VARIATION:

- 1. The requested Variation is consistent with the stated intent and purposes of the Zoning Ordinance and the Comprehensive Plan.**

Since protecting public welfare, improving the congestion of the public streets and overall taxable property is the stated intent of Zoning Ordinance, while promoting the growth and redevelopment of business and commercial area is the purpose of the Comprehensive Plan, then this proposed work is consistent with both these documents' stated intents.

- 2. That the particular physical surroundings, shape or topographical conditions of the specific property involved would bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of this Zoning Ordinance is enforced;**

Strict application of the zoning ordinance's parking requirements would eliminate the ability of the Airoom parking situation to be improved. By enforcing the drive aisle and the stall dimensions, along with the perimeter and interior parking landscape requirements, the number of stalls proposed would be reduced to a point where the functional redesign of the parking would not be effective. The parking limitations of this vicinity are well known and this project seeks to improve them in an effective and area beautifying manner.

- 3. That the conditions upon which the petition for variation is based would not be applicable generally to other property within the same Zoning District;**

The parking reduction requests are particularly challenging in this location based on the proximity to the busy Lincoln/Pratt intersection and the Library facility where street parking is challenging at best. Providing parking that maximizes the available space to provide some practical solutions to the

**EXPLANATION OF VARIATION & SPECIAL USE
VILLAGE OF LINCOLNWOOD
6825 N. LINCOLN AVENUE – AIROOM LLC**

dearth of street parking in this vicinity necessitates the proposed reduction in drive aisle dimensions and parking stall width.

- 4. The Variation is not solely and exclusively for the purpose of enhancing the value of or increasing the revenue from the property.**

While there will ultimately be some increase in the value for the Airoom building, the overall goal for this proposal is to improve the amount of parking available for this location. However, most importantly, the goal is to improve the current dangerous Lincoln Avenue parking access point so that vehicles parked in front of the Airoom building do not have to reverse out into the fast-moving Lincoln Avenue northbound traffic.

- 5. That the alleged difficulty has not been created by any person presently having an interest in the property;**

The difficulty is related to the overall parking challenges of this busy intersection of the Village. Having access from the building into northbound only traffic on Lincoln Avenue creates a hardship for the owner that this project seeks to improve which is related to the geography of the building and its position along a major Village thoroughfare.

- 6. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located;**

If relief from the requested Zoning Ordinance requirements is granted, the overall improvement will not be detrimental to the public welfare. By increasing the parking in the vicinity, along with providing a safer access point to northbound Lincoln Avenue, the overall safety at the location will be improved.

- 7. The Variation granted is the minimum change to the Zoning Ordinance standards necessary to alleviate the practical hardship on the subject property.**

The proposed design will be the minimum necessary to create a safe and logical redesign for this intersection. The parking has been expanded to the maximum extent possible, and in combination with the proposed reductions in the three parking requirements, the design has been created to make the most optimal use of the area.

**EXPLANATION OF VARIATION & SPECIAL USE
VILLAGE OF LINCOLNWOOD
6825 N. LINCOLN AVENUE – AIROOM LLC**

- 8. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.**

Since this is an “at-grade” improvement, there will not be any loss of light and air to the neighboring properties, nor will there be an increase in the danger of fire and any other work that will impair the neighborhood property values to any extent.

SIGN VARIATION STANDARDS:

- 9. The proposed Variation is consistent with the statement of purpose set forth in Section 11.01 of the Zoning Ordinance.**

As part of the revised parking plan, the existing pole sign located in front of the Airoom building on the south end will need to be relocated. It will remain as the same sign as previously approved, but will just have a different location. As a previously approved sign, it is consistent with Section 11.01.

- 10. The proposed sign complies with any additional standards or conditions set forth in Article XI of the Zoning Ordinance.**

The existing and proposed new location of the sign will comply with the stated standards.

- 11. The proposed sign will substantially enhance the architectural integrity of the building or other structure to which it will be attached, if any.**

Since the sign was previously approved, and has now become part of the overall Airoom presence at this Lincoln/Keystone intersection, then it will continue to maintain the architectural integrity of the building with which it is associated.

- 12. The proposed sign conforms with the design and appearance of nearby structures and signs.**

The sign was originally designed with the Airoom Headquarters in mind and its appearance mirrors the building and the architectural design of the facility.

**VILLAGE OF LINCOLNWOOD
6825 N. LINCOLN AVENUE – AIROOM LLC**

VIEW OF AIROOM FROM NORTH



VIEW OF AIROOM FROM SOUTH



**VILLAGE OF LINCOLNWOOD
6825 N. LINCOLN AVENUE – AIROOM LLC**

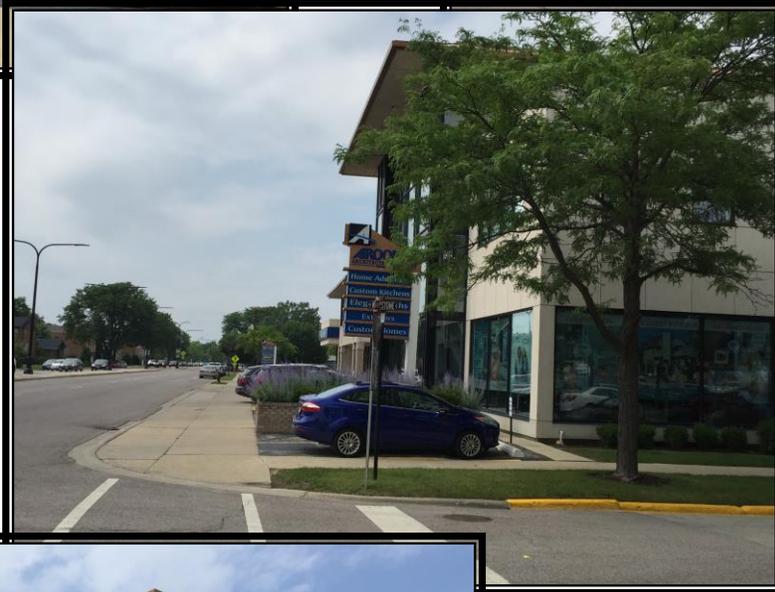
PARKING IN FRONT OF
BUILDING ADJACENT TO
LINCOLN AVENUE



PARKING ALONG KEYSTONE
AVENUE



**VILLAGE OF LINCOLNWOOD
6825 N. LINCOLN AVENUE - AIROOM LLC**



EXISTING BUSINESS POLE SIGN
TO BE RELOCATED

DEO E. COLF & CO. CHICAGO
LEGAL BLANKS
No. 804
(NEW SEPT. 1954)
WARRANTY DEED—Statutory
(ILLINOIS)
(CORPORATION TO INDIVIDUAL)

18 320 107
COOK COUNTY RECORDERS
FILED FOR RECORD
Nov 2 '61 3 02 PM

William H. Olsen
RECORDER OF DEEDS

* 18320107

Approved By (Chicago Title and Trust Co.
(Chicago Real Estate Board)
5168287

(The Above Space For Recorder's Use Only)

23-24 THE GRANTOR— HASKRIS CO.

a corporation created and existing under and by virtue of the laws of the State of Illinois, for and in consideration of the sum of (\$26,998.80) ----- DOLLARS,

in hand paid, and pursuant to authority given by the Board of of said corporation CONVEYS and WARRANTS unto FRANK L. HAAS

of the Village of Lincolnwood in the County of Cook and State of Illinois the following described Real Estate situated in the County of Cook and State of Illinois, to wit:

Lots 42, 43, 44, 45 & 46 in the Lincoln Crawford Pratt Boulevard subdivision of the South one-half of the East 15 acres and the South one-half of the West 25 acres (except the South 30 ft. of that part lying West of Lincoln Avenue) of the South East one-quarter of the North East one-quarter of Section 34, Township 41 North, Range 13; also that part of the East one-half of the South East one-quarter lying North Easterly of the North Easterly line of Lincoln Ave. East of the Third Principal Meridian. More commonly described as the North Westerly Corner of Keystone and Lincoln in Lincolnwood.

325

In Witness Whereof, said Grantor has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its President, and attested by its Secretary, this 31st day of October, 1961.



BY Frank L. Haas PRESIDENT
ATTEST Vera M. Haas SECRETARY

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Frank L. Haas personally known to me to be the President of the HASKRIS CO.



corporation, and Vera M. Haas personally known to me to be the Secretary of said corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Secretary, they signed and delivered the said instrument as President and Secretary of said corporation, and caused the corporate seal of said corporation to be affixed thereto, pursuant to authority, given by the Board of Directors of said corporation as their free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

Given under my hand and official seal, this 31st day of October 1961.
Commission expires February 28 1965 Margaret Gutschall
NOTARY PUBLIC



AFFIX "RIDERS" OR REVENUE STAMPS HERE

DOCUMENT NUMBER

18 320 107

MAIL TO: NAME Frank L. Haas
ADDRESS 3909 Loyola Ave.
CITY AND STATE Lincolnwood, Ill.

ADDRESS OF PROPERTY:

THE ABOVE ADDRESS IS FOR STATISTICAL PURPOSES ONLY AND IS NOT A PART OF THIS DEED.

WARRANTY DEED—Statutory
(ILLINOIS)
(INDIVIDUAL TO CORPORATION)

COOK COUNTY, ILLINOIS
FILED FOR RECORD

Approved By (Chicago Title and Trust Co.
(Chicago Real Estate Board)

JAN 28 '65 9 27 AM

* 19368629

(The Above Space For Recorder's Use Only)

5470434 J

THE GRANTOR, FRANK L. HAAS and VERA M. HAAS, his wife

of the Village of Lincolnwood County of Cook State of Illinois
for and in consideration of Ten--and--no/100th-----(\$10.00)-----DOLLARS,
and other good and valuable consideration in hand paid,
CONVEY and WARRANT to AIROOM, INC.

a corporation created and existing under and by virtue of the Laws of the State of Illinois
having its principal office in the Village of Lincolnwood and
State of Illinois the followiⁿ described Real Estate situated in the County
of Cook in the State of Illinois, to wit:

Lot 44 in Lincoln Crawford Pratt Boulevard
Subdivision of the South half of the East
Fifteen (15) acres and the South half of the
West twenty-five (25) acres (except therefrom
the South thirty (30) feet of that part there-
of lying West of Lincoln Avenue) of the South-
east quarter of the Northeast quarter, also
that part of the East half of the Southeast
quarter lying Northeast of the Northeasterly
line of Lincoln Avenue in Section 34, Township
41 North, Range 13, East of the Third Principal
Meridian

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of
the State of Illinois.

DATED this 25th day of January 1965

X *Frank L. Haas* (Seal) X *Vera M. Haas* (Seal)
PLEASE PRINT OR TYPE NAME(S) Frank L. Haas Vera M. Haas
BELOW SIGNATURE(S) (Seal) (Seal)

State of Illinois, County of Cook ss., I, the undersigned, a Notary Public in
and for said County, in the State aforesaid, DO HEREBY CERTIFY that
Frank L. Haas and Vera M. Haas, his wife



personally known to me to be the same persons whose name are
subscribed to the foregoing instrument appeared before me this day in
person, and acknowledged that they signed, sealed and delivered the said
instrument as their free and voluntary act, for the uses and purposes
therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal, this 25th day of January 1965

Commission expires *February 28 1965* *Margaret Gottschalk*
NOTARY PUBLIC

ADDRESS OF PROPERTY:

MAIL TO: NAME Mr. Nathan T. Notkin
ADDRESS 11 South LaSalle Street
CITY AND STATE Chicago, Illinois

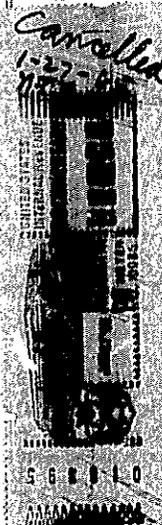
THE ABOVE ADDRESS IS FOR STATISTICAL
PURPOSES ONLY AND IS NOT A PART OF
THIS DEED.

SEND SUBSEQUENT TAX BILLS TO:

Airoom, Inc.
(NAME)

OR RECORDER'S OFFICE BOX NO. _____

6825 N. Lincoln, Lincoln-
(ADDRESS) WOOD, ILL.



AFFIX "RIDER"

DOCUMENT NUMBER

19 368 629

WARRANTY DEED—Statutory
(ILLINOIS)
(INDIVIDUAL TO CORPORATION)

COOK COUNTY, ILLINOIS
FILED FOR RECORD

Dolores N. Lindey
RECORDER OF DEEDS

FEB 1 '66 12 19 PM

19 727 326

*19727326

Approved By (Chicago Title and Trust Co.
(Chicago Real Estate Board)

(The Above Space For Recorder's Use Only)

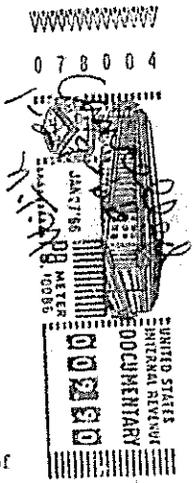
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THE GRANTOR s, FRANK L. HAAS and VERA M. HAAS, his wife,

of the Village of Lincolnwood County of Cook State of Illinois
for and in consideration of Ten and no/100-----(\$10.00)----- DOLLARS,
and other good and valuable consideration, in hand paid,
CONVEY and WARRANT to AIROOM, INC.

a corporation created and existing under and by virtue of the Laws of the State of Illinois
having its principal office in the Village of Lincolnwood and
State of Illinois the following described Real Estate situated in the County
of Cook in the State of Illinois, to wit:

Lot 43 in Lincoln Crawford Pratt Boulevard Subdivision
of the South half of the East Fifteen (15) acres and the
South half of the West twenty-five (25) acres (except
therefrom the South thirty (30) feet of that part thereof
lying West of Lincoln Avenue) of the Southeast quarter
of the Northeast quarter, also that part of the East half
of the Southeast quarter lying Northeast of the Northeastly
line of Lincoln Avenue in Section 34, Township 41 North,
Range 13, East of the Third Principal Meridian,



hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of
the State of Illinois.

DATED this 27th day of January 1966

PLEASE
PRINT OR
TYPE NAME(S)
BELOW
SIGNATURE(S)

Frank L. Haas (Seal) *Vera M. Haas* (Seal)
Frank L. Haas Vera M. Haas

State of Illinois, County of Cook ss., I, the undersigned, a Notary Public in
and for said County, in the State aforesaid, DO HEREBY CERTIFY that
Frank L. Haas and Vera M. Haas, his wife,

personally known to me to be the same persons whose names are
subscribed to the foregoing instrument appeared before me this day in
person, and acknowledged that they signed, sealed and delivered the said
instrument as their free and voluntary act, for the uses and purposes
therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal, this 27th day of January 1966

Commission expires *December 1, 1968*
Dolores N. Lindey NOTARY PUBLIC

ADDRESS OF PROPERTY:

THE ABOVE ADDRESS IS FOR STATISTICAL
PURPOSES ONLY AND IS NOT A PART OF
THIS DEED.
SEND SUBSEQUENT TAX BILLS TO:
Airoom, Inc.
(NAME)
6825 N. Lincoln, Lincolnwood
Illinois
(ADDRESS)

MAIL TO: NAME Mr. Nathan T. Notkin
ADDRESS 11 South LaSalle Street
CITY AND STATE Chicago, Illinois 60603

OR RECORDER'S OFFICE BOX NO. 535

DOCUMENT NUMBER
19 727 326

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Summary Review
Development Review Team Comments

**Proposed New Off-Street Parking Configuration and
New Off-Street Parking Spaces**

6825 Lincoln Avenue (Airoom Building) and
6829-6849 Lincoln Avenue (Airoom Plaza)

Nature of Request

Redesign of the parking area in front of the Airoom building and FedEx tenant space in the Airoom Plaza, to alter the parking spaces from 90 degree “head-in” spaces to angled parking with a one-way off-street driveway for maneuvering, all located behind a parkway that consists primarily of a curbed sidewalk. On-street parking would be provided on the Lincoln Avenue side of the sidewalk, creating an additional buffer between the parking area and drive aisle on the Airoom property. Relocation of the existing pole sign approximately 8’ south to accommodate the relocated handicapped-accessible parking space.

Village Actions Required (based on zoning review)

- Special Use to allow off-street parking between building and street.

- Approval of Zoning Variations as Currently Identified:
 - Relief from the Minimum Drive Aisle Dimensions (Section 7.06(6) & Table 7.06.01)
 - Relief from the Minimum Off-Street Parking Stall Dimensions (Section 7.06(6) & Table 7.06.01)
 - Relief from Minimum Perimeter and Interior Landscape Requirements for off-Street parking lots (Section 6.14);
 - Monument sign setback (Section 11.04(1)v)

- Vacation of a Portion of Keystone Right-of-Way (Chapter 16 of Municipal Code, Article 3-5)

- Plat of Consolidation (Chapter 16 of Municipal Code, Article 4-4)

- Building Permit from Village of Lincolnwood

Summary of Staff Review Comments

- This project will require the approval of two variance identified on plan sheet C-1: Angled Space Width (8.5' width instead of required 9.0'), and Drive Aisle Width (13.7' versus instead of required 16' for angled parking).
- All replacement sidewalk must be at least five feet in width.
- The current landscape plan calls for four trees to be planted in the right-of-way. The final species and location of the tree will need to be approved by the Public Works Director. All new parkway trees must have a minimum caliper of 2.5 inches.
- The proposed work within the Lincoln Avenue right-of-way requires a permit from IDOT.
- Maintain existing stop sign and no left turn sign. Stop bar and appropriate pedestrian public sidewalk crosswalks at southbound Keystone Avenue onto Lincoln Avenue are designated on the plan.
- Any walkways bordering the building or leading to the entrances should be clearly designated on the plan to prevent any possible pedestrian safety issues.

Attached are specific department comments on the proposed development

Additional Documents Required/Requested

- Provide a Lighting and Photometric Plan for the property consistent with Village Code
- Provide Autoturn movements for garbage truck, ambulance, and delivery vehicle.
- Provide cost estimate for landscape as required by Village Code
- Provide vehicle turning exhibits for the front parking area showing movements of various passenger vehicles.
- A Plat of Consolidation is required
- A Plat of Vacation is required

Recommended Development Approval Conditions

- None at this time



Landscaping Review

Development Review

Project Information

Petitioner or Project Name	AIROOM
Subject Property Address	6825 Lincolnwood Avenue
List and Date of Plans Reviewed	Landscape Plan prepared by Martin and Associates
Nature of Proposal	Review of proposed landscape plan.

Review Information

Name of Reviewer:	Douglas Gotham, RLA
Reviewer Contact Information:	CBBEL, 847-823-0500 dgotham@cbbel.com
Date of Plan Review:	5-12-16

Action(s)/Approval(s) Required

None

Applicable Regulations/Requirements

Village Code – Chapter 15, Article VI: Site Development Standards

Additional Documents or Information Required/Requested

Provide cost estimate as required by Village Code

Plan Review Comments

None.

Recommended Development Approval Conditions

None.



LINCOLNWOOD FIRE DEPARTMENT

6900 N. LINCOLN AVENUE – LINCOLNWOOD, ILLINOIS - 60712

PHONE: 847-673-1545 FAX: 847-673-7456

Development Review

Project Information

Petitioner or Project Name: Airoom Parking Reconfiguration
Subject Property Address: 6825 Lincoln Avenue
List and Date of Plans Reviewed: Site Plan, landscape Plan
Nature of Proposal: Parking Reconfiguration on Lincoln and on Keystone

Review Information

Name of Reviewer: Battalion Chief Clyde Heineman - Director of Fire Prevention
Reviewer Contact Information: Lincolnwood Fire Department – 847-673-1545 – cheineman@lwd.org
Date of Plan Review: 5-7-2016

Action(s)/Approval(s) Required

- None for Fire Department at this time

Applicable Regulations/Requirements

- None for Fire Department at this time

Additional Documents or Information Required/Requested

Building Square Footage: N/A
Proposed Occupancy Type: N/A
Proposed Occupancy Load: N/A

Plan Review Comments

- The Fire Department has no concerns with this configuration. Access up Keystone is not obstructed and vehicle clearance appears adequate.

Recommended Conditions

- None for Fire Department at this time
-



LINCOLNWOOD POLICE DEPARTMENT

6900 N. Lincoln Avenue, Lincolnwood, IL 60712

(847) 673-2167

Development Review

Project Information

Petitioner or Project Name:	Airoom Parking Reconfiguration – Airoom Architects and Bono Consulting Inc. Proposed Site Plan (W/AutoTurn)
Subject Property Address:	6825 North Lincoln Avenue
List and Date of Plans Reviewed:	<ul style="list-style-type: none">Development Review Team recommendation regarding the proposed property parking for May 13, 2016.
Nature of Proposal:	Proposed parking plan for the area bordering the business adjacent to Keystone Avenue

Review Information

Name of Reviewer:	Lieutenant Randall Rathmell		
Reviewer Contact Information:	Work:	(847) 745-4751	Cell: (847)
	Email	rrathmell@lwd.org	
Date of Plan Review:	May 13, 2016		

Action(s)/Approval(s) Required

- None

Applicable Regulations/Requirements

- None

Additional Documents or Information Required/Requested

- Photometric Lighting Plan

Plan Review Comments

- Subject to Illinois Department of Transportation (IDOT) approval

[Type text]

- Maintain existing stop sign and no left turn sign. Stop bar and appropriate pedestrian public sidewalk crosswalks at southbound Keystone Avenue onto Lincoln Avenue are designated on the plan.
- Staff recommends consideration of unobstructed line-of-sight near the public streets due to increased pedestrian and vehicular traffic near the property.
- Any walkways bordering the building or leading to the entrances should be clearly designated on the plan to prevent any possible pedestrian safety issues.

Recommended Development Approval Conditions

- None



Public Works Department

Development Review

Project Information

Petitioner or Project Name: Airoom Parking Reconfiguration
Subject Property Address: 6825-49 N. Lincoln Avenue
List and Date of Plans Reviewed: <ul style="list-style-type: none">• Site Plan• Landscape Plan
Nature of Proposal: <p>The petitioner is proposing to reconfigure the parking stalls located along Lincoln Avenue and install a raised barrier.</p>

Review Information

Name of Reviewer:	Andrew Letson, Assistant to the Public Works Director
Reviewer Contact:	Work: 847-745-4851 aletson@lwd.org
Date of Plan Review:	May 13, 2016

Action(s)/Approval(s) Required

- Location and size of sidewalk replacement
- Location and species of parkway trees

Applicable Regulations/Requirements

- Section 6-1-1 (Sidewalk Construction)
- Section 6-5-7 (Parkway Trees Required)

Additional Documents or Information Required/Requested

- None.

Plan Review Comments:

- All replacement sidewalks must be at least five feet in width.
- The current landscape plan calls for four trees to be planted in the right-of-way. The final species and location of the tree will need to be approved by the Public Works Director. All new parkway trees must have a minimum caliper of 2.5 inches.

Recommended Development Approval Conditions

- None



Lincolnwood Engineering Department

Development Review

Project Information

Petitioner or Project Name: Airoom Parking Expansion
Subject Property Address: 6825 Lincoln Avenue
List and Date of Plans Reviewed: <ul style="list-style-type: none">• Site Plan Sheet C-1 prepared by Bono Consulting, Inc. bearing a date of May 28, 2015• Landscape Plan prepared by James Martin Associates , bearing a date of February 16, 2015
Nature of Proposal: <p>The applicant is proposing to construct parking and landscaping improvements along both Lincoln Avenue and Keystone Avenue frontages of the property. The project requires the purchase of vacated right-of-way along Keystone Avenue by the applicant.</p>

Review Information

Name of Reviewer: Paul Bourke, PE CFM CMS4S
Reviewer Contact Information: p: 847.823.0500 pbourke@cbbel.com
Date of Plan Review: May 10, 2016

Action(s)/Approval(s) Required

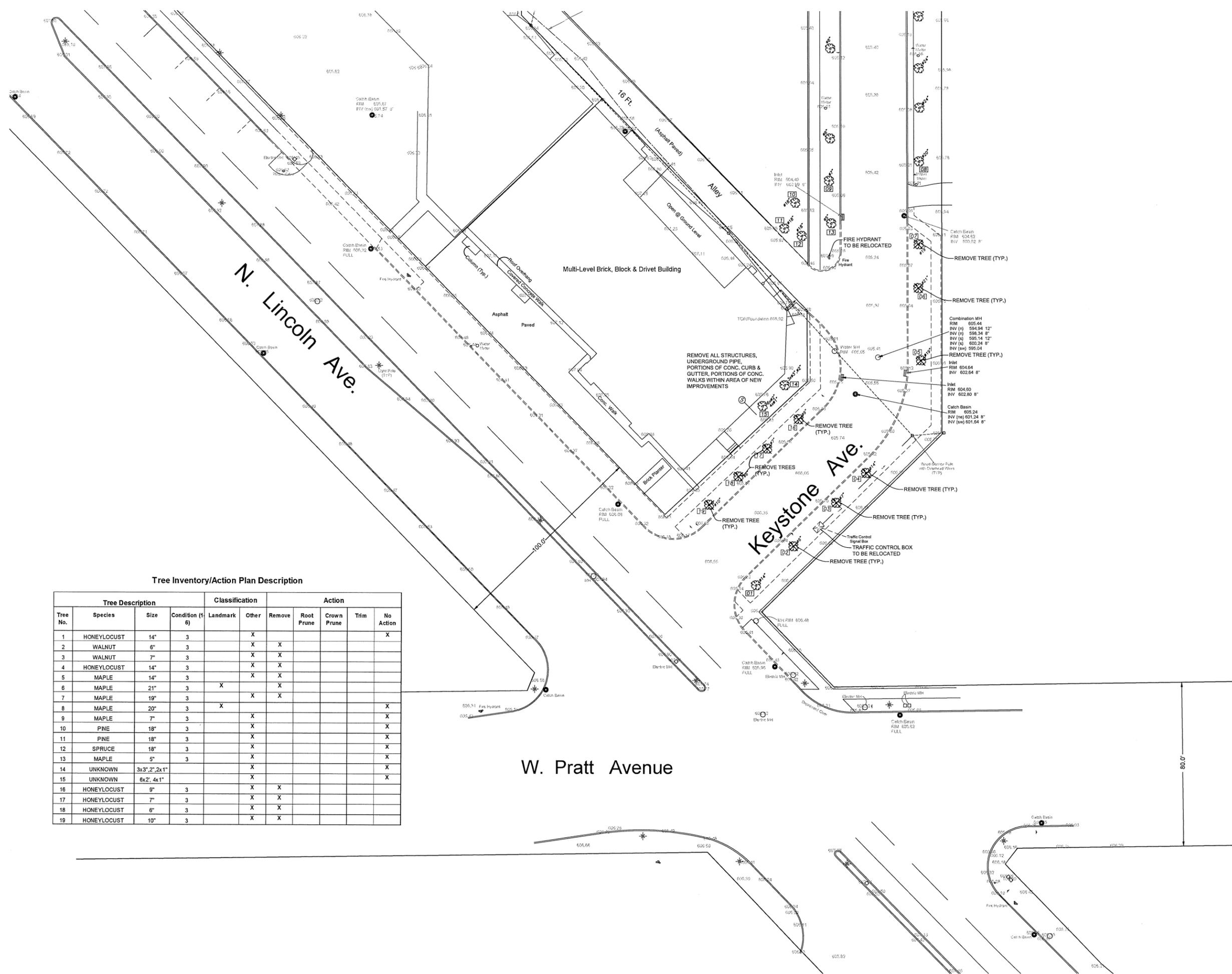
- This project will require the vacation of right-of-way along Keystone Avenue by the Village and its ultimate sale to the petitioner, per previous discussions, with Village staff.
- This project will require the approval of two variance identified on plan sheet C-1: Angled Space Width (8.5' width instead of required 9.0'), and Drive Aisle Width (13.7' versus instead of required 16' for angled parking).

Plan Review Comments:

- The proposed work within the Lincoln Avenue right-of-way requires a permit from IDOT.

Recommended Development Approval Conditions

- None



Tree Inventory/Action Plan Description

Tree No.	Tree Description			Classification		Action				
	Species	Size	Condition (1-6)	Landmark	Other	Remove	Root Prune	Crown Prune	Trim	No Action
1	HONEYLOCUST	14"	3		X					X
2	WALNUT	6"	3		X	X				
3	WALNUT	7"	3		X	X				
4	HONEYLOCUST	14"	3		X	X				
5	MAPLE	14"	3		X	X				
6	MAPLE	21"	3	X		X				
7	MAPLE	19"	3		X	X				
8	MAPLE	20"	3	X						X
9	MAPLE	7"	3		X					X
10	PINE	18"	3		X					X
11	PINE	18"	3		X					X
12	SPRUCE	18"	3		X					X
13	MAPLE	5"	3		X					X
14	UNKNOWN	3x3", 2", 2x1"			X					X
15	UNKNOWN	8x2", 4x1"			X					X
16	HONEYLOCUST	9"	3		X	X				
17	HONEYLOCUST	7"	3		X	X				
18	HONEYLOCUST	6"	3		X	X				
19	HONEYLOCUST	10"	3		X	X				



PROJECT STAFF		ISSUE	REVISIONS	DATE
PROJECT MANAGER	E. BOND FILE	1	PRELIMINARY DRAWINGS	10/17/11
ENGINEER	T. LACOMBE FILE			
ENGINEER				
TECHNICIAN				

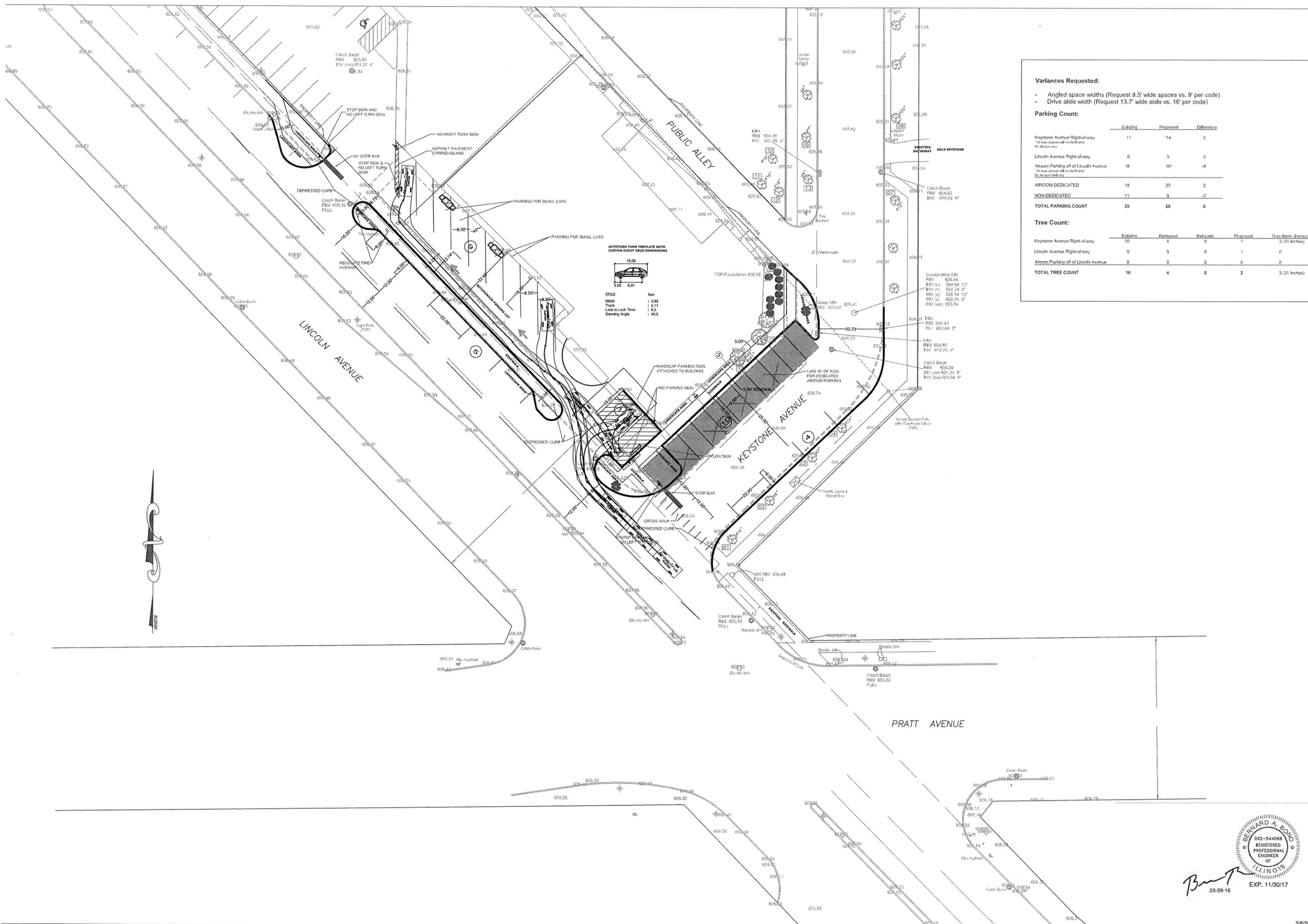
BCI
BONO CONSULTING, INC.
 CIVIL ENGINEERS
 PH : (847) 923-9300
 FAX : (847) 923-9303
 1018 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 bono@bonoconsulting.com

EXISTING TOPOGRAPHY
 AIROOM ARCHITECTS
 6825 LINCOLN AVE., LINCOLNWOOD, ILLINOIS

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PROJECT NO.: 11241
 BASE FILE:
 SHEET FILE:
 ISSUE DATE: OCT. 17, 2011
 SCALE: 1" = 20'

SHEET NUMBER
C-1



Variances Requested:

- Angled space widths (Request 8.5' wide spaces vs. 9' per code)
- Drive aisle width (Request 13.7' wide aisle vs. 16' per code)

Parking Count:

	Existing	Proposed	Difference
Keystone Avenue Right-of-way <small>*No new structure will be constructed for this area</small>	11	14	3
Lincoln Avenue Right-of-way	0	5	5
Airport Parking off of Lincoln Avenue <small>*No new structure will be constructed for Airport Mall area</small>	18	10	-8
AIRROOM DEDICATED	18	20	2
NON-DEDICATED	11	9	-2
TOTAL PARKING COUNT	29	29	0

Tree Count:

	Existing	Removed	Reducate	Proposed	Tree Bank (Inches)
Keystone Avenue Right-of-way	10	4	0	1	3 (31 Inches)
Lincoln Avenue Right-of-way	0	0	0	1	0
Airport Parking off of Lincoln Avenue	0	0	0	0	0
TOTAL TREE COUNT	10	4	0	2	3 (31 Inches)

DATE	REVISIONS
10/17/11	PRELIMINARY DRAWINGS
06/03/13	EXPAND SITE PLAN TO NORTHWEST
06/03/13	REVISE REVISIONS PER VALLEE
09/11/14	SITE PLAN REVISIONS PER VALLEE/LANE WHITE
11/03/14	OWNER REVIEW
11/03/14	SITE PLAN REVISIONS PER VALLEE
11/03/14	SITE PLAN REVISIONS PER VALLEE
02/04/15	REVISIONS PER OWNER

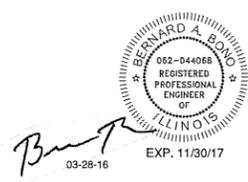
PROJECT STAFF	ISSUE
PROJECT MANAGER: B. BONO P.E.	1
ENGINEER: T. CACCAMARIE	2
ENGINEER: J. BONO	3
TECHNICIAN:	4
	5
	6
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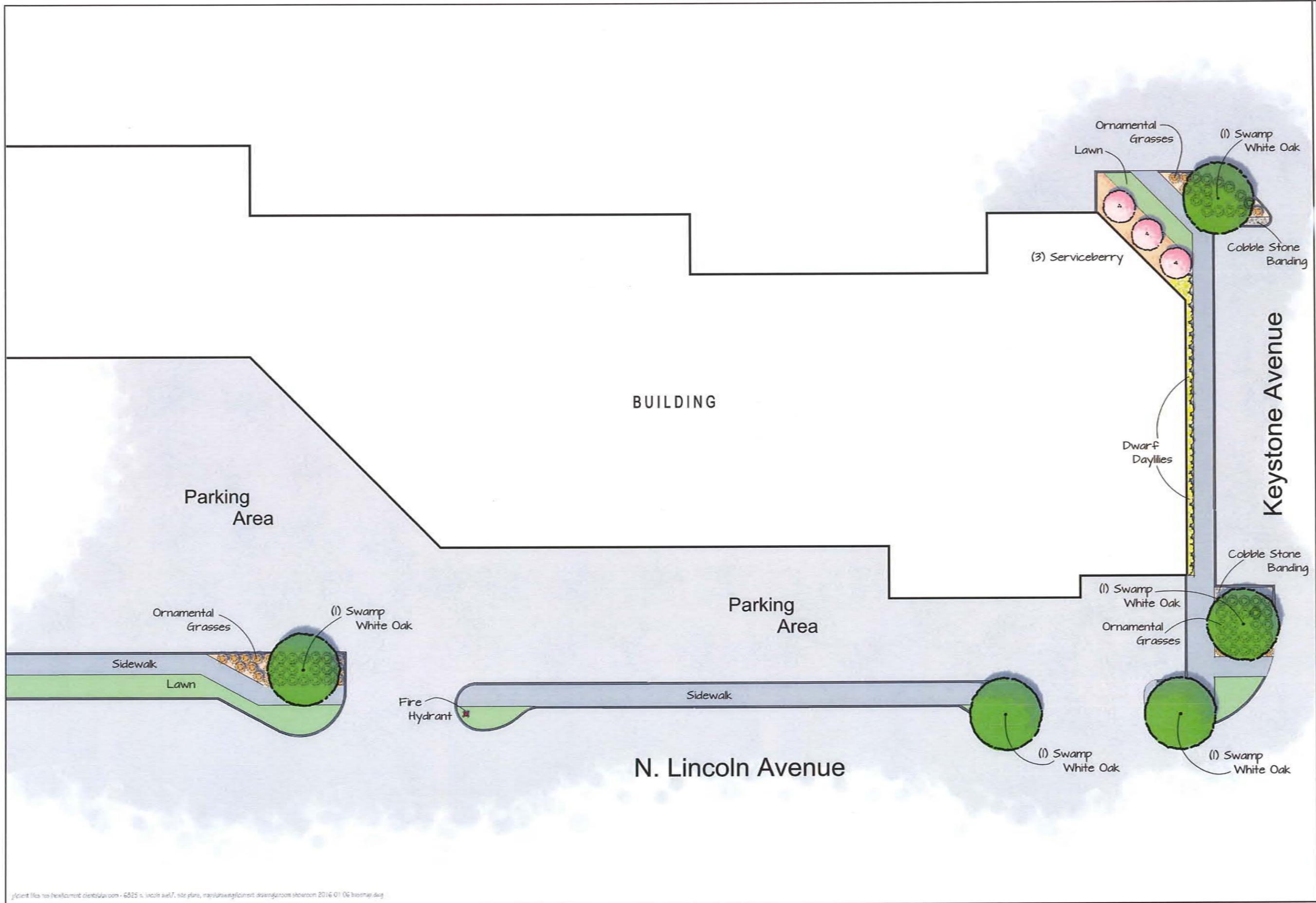
BCI
BONO CONSULTING, INC.
 CIVIL ENGINEERS
 5018 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: (847) 823-0900
 FAX: (847) 823-3303
 bbono@bonoconsulting.com

PROPOSED SITE PLAN (W/ AUTOTURN)
 AIRROOM ARCHITECTS
 6825 LINCOLN AVE., LINCOLNWOOD, ILLINOIS

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PROJECT NO.: 11241
 BASE FILE:
 SHEET FILE:
 ISSUE DATE: OCT. 17, 2011
 SCALE: 1" = 20'
 SHEET NUMBER
C-1





James Martin Associates, Inc.
 Landscape Architecture
 19 Oak St. Springfield, IL 62760
 Phone: (217) 531-1860
 Fax: (217) 531-1860



AIROOM
 6825 N. Lincoln Avenue, Lincolnwood Illinois



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Job #	
Scale: 1" = 10'	
Date: 1/28/16	
Rev.:	