



VILLAGE OF LINCOLNWOOD

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Detached Garage Handout

A permit is required to install or replace a detached garage. The difference between following the [Shed handout](#) or this Detached Garage handout is based on sq. ft. area. Two hundred (200) sq. ft. or larger accessory structures, based on the 2021 International Residential Code, shall follow the guidelines for a detached garage with or without a driveway or vehicle being parked inside.

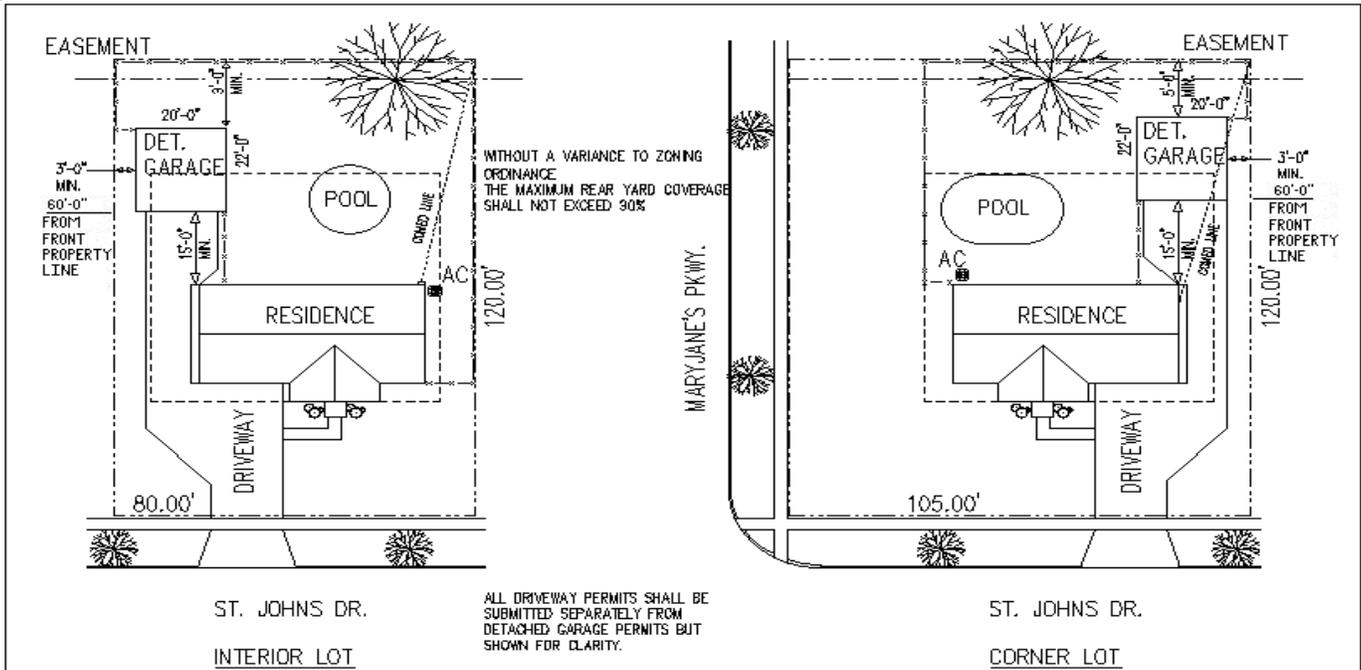
An application must be submitted through our online portal at lincolnwood.onlana.com (you can also access the portal by scanning QR code above). The “Accessory Structure” application will need to include the following information:

The online permit application will require the following information:

- Homeowner Information including name, address, telephone number and email address
- Contractor Information: If contractors have not been selected at the time of application submitted, please note that a permit will not be issued until all contractors have been identified and registered with the Village.
- A detailed and enumerated proposal(s) from all contractors for all work with cost breakout, signed by the owner and contractors, scanned in pdf and uploaded – refer to [Illinois 815 ILCS 513/15 Section 15](#)

As a part of the application, you will be required to upload one (1) scanned pdf copy of a recent [dated within five (5) years] legal plat of survey (**not** a Google Earth image, sketch or a site plan) showing the proposed detached garage with dimensions and square feet area and indicate the distance from the property lines (not to be closer than three (3) feet to the side or rear property line, five (5) feet* to the rear property line (*corner lots only) nor be located on any easement).

The detached garage cannot encroach the required corner side yard. The detached garage must also be set back a minimum of sixty (60) feet from the front property line. Also the diagram should show all other existing accessory structures, with dimensions, located in the rear yard. Indicate on the plat of survey the location of the main Commonwealth Edison supply line (indicate above or below ground) to the house and the location of the electric meter. All accessory structures shall not cover more than thirty (30) percent of the rear yard area. This would include, but not be limited to, pools, decks, gazebos, sheds or detached garages, etc. All impervious area shall not cover more than sixty (60) percent of the entire property you will be required to submit a completed [Hard Surface Calculation Worksheet](#) with the application.



Detached garages shall not exceed one (1) story or seventeen (17) feet in height, whichever is lower when greater than one hundred and twenty (120) sq. ft. in area. The attic area of the detached garage cannot be used as a story. No stairs shall be allowed to access the attic area of a detached garage.

A demolition permit from Cook County **may** be required if removing/replacing an existing detached garage. Proof of this permit is required. Contact the Cook County Department of Environmental Control at 312-603-8200 to find out if your shed would require this permit.

While the Village of Lincolnwood’s zoning ordinance allows a detached garage to be located three (3) feet from the property line, the [2021 International Residential Code](#) adds specific requirements. Section R302.1 Exterior Walls. Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1) Table R302.1(1) requires that an exterior wall that is located less than five (5) feet from the lot line is required to have a one (1) hour rated wall tested in accordance with ASTM E119, UL 263 or section 703.3 of the International Building code with exposure from both sides. Projections, such as a roof eave, located less than five (5) feet from the lot line are required to have a one (1) hour rating on the underside or be of fire-retardant treated wood (when fire blocking is provided from the wall top plate to the underside of the roof sheathing).

Upload one (1) scanned pdf copy of the construction drawings (1/4 inch = 1 foot) that include the following information: Construction drawings shall be clean, legible and of professional quality.

- A floor plan and a complete cross section of the detached garage with all dimensions indicated, including height above grade. Include all required notes on this plan and section.
- Foundation plan with dimensions for monolithically poured turned down footings including rebar and WWF notes. Garage floor slab shall be a minimum of four (4) inches thick over four (4) inches of compacted crushed stone, sand or gravel, sloped two (2) inches in the direction of the overhead garage door opening.
- Size, grade and spacing of wood studs, ceiling joists, beams and rafters shall be provided. If required, provide signed and sealed drawings for engineered beams or trusses.

Minimum size beams over garage door openings on load bearing walls		
Beam Size	Max Span	Jack Studs Req.
(2)2X12	8'1"	2
(3)2X10	8'7"	1
(3)2x12	10'1"	2
(2)1.75x11.875 ML	14'	2
(3)1.75x9.25 ML	14'	2
(2)1.75x14 ML	16'3"	2
(3)1.75X11.25 ML	16'3"	2

This information was taken from both the level truss joist catalog or the 2018 International Residential Code

Ceiling joist size and spacing (used to prevent rafter thrust) Uninhabitable attics with no storage			
Species and Grade	Size	Spacing	Max. Span
Douglas Fir #2	2X6	16" O.C.	17'6"
	2X8	16" O.C.	23'4"
	2X10	16" O.C.	26'0"
Southern Pine #2	2X6	16" O.C.	16'11"
	2X8	16" O.C.	21'7"
Spruce Pine #2	2X10	16" O.C.	26'0"

Roof Rafter Size and Spacing (30# Snow Load & 10# Dead Load)			
Species and Grade	Size	Spacing	Max. Span
Douglas Fir #2	2X6	16" O.C.	12'1"
	2X8	16" O.C.	15'4"
	2X10	16" O.C.	18'9"
Southern Pine #2	2X6	16" O.C.	11'2"
	2X8	16" O.C.	14'2"
Spruce Pine #2	2X10	16" O.C.	16'10"

- The elevations shall show the type of siding, shingles, windows, doors, downspouts and gutters and dimensions for the height of the detached garage.
- All electrical work shall be shown, including outlets, switches, light fixtures and shall conform to the 2021 National Electric Code.
- No permanent heating or cooling systems shall be allowed to be installed in detached garages (hobby shops) without the express permission of the Building Official.
- When the electric service is overhead, the minimum clearance is three (3) feet in any direction measured from the roof surface.

Per Village of Lincolnwood ordinance for Site Management chapter 14.15.10(M) Permissible hours of construction:

Monday through Friday: 7:00 am to 6:00 pm
 Saturday: 7:00 am to Noon
 Sunday: Construction prohibited

For all excavation work, call J.U.L.I.E at either 811 or 1-800-892-0123 forty-eight (48) hours before you dig per Illinois State law. This is to verify the location of underground utilities in the area. The service is provided to you at no charge.